

# FRASER LANDING STAGE 5



SCALE 1:250

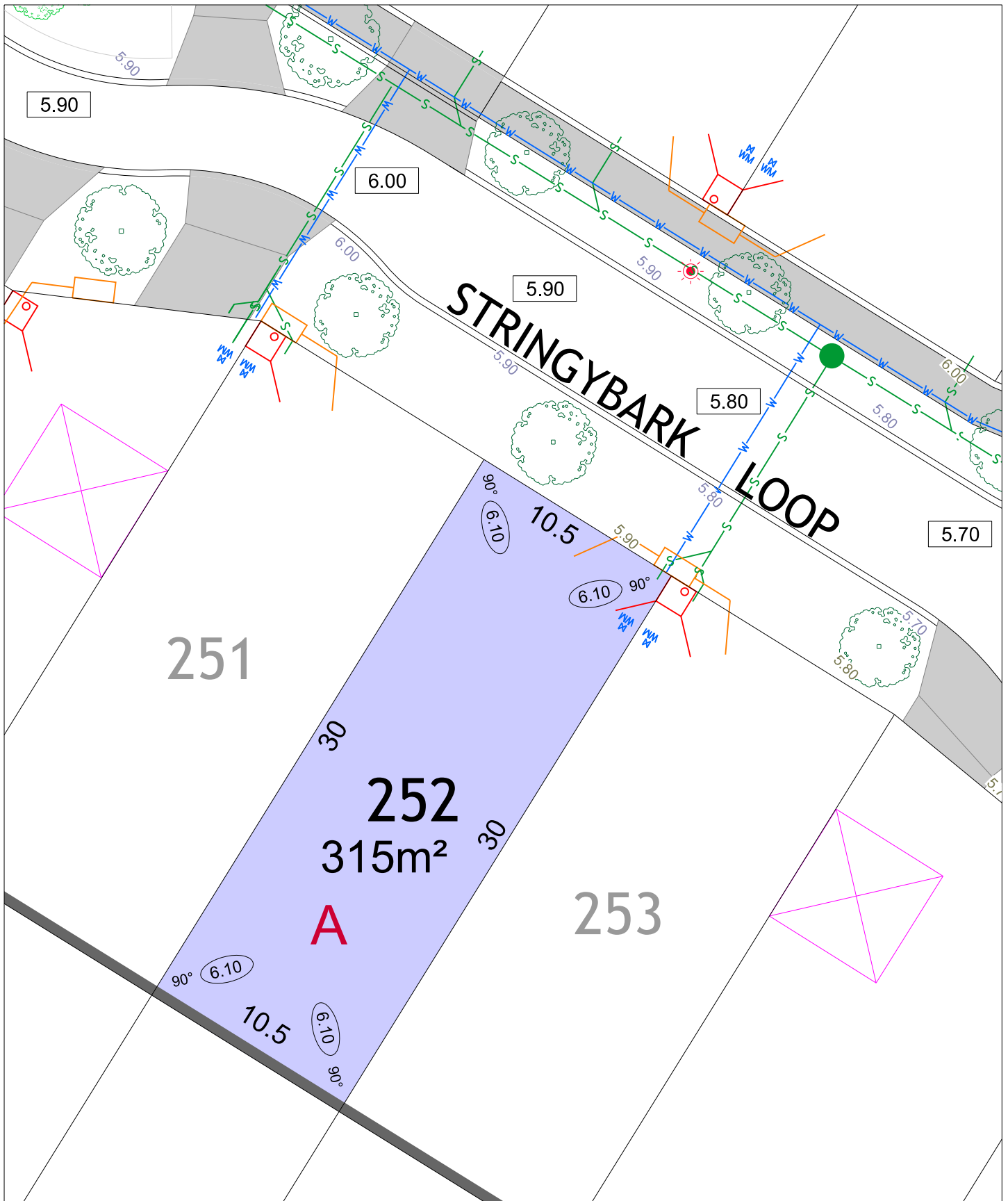
MNG. Ref: 94036lip-202d Date: 12/08/2022

All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

## LEGEND

- WATER
- WATER METER
- VALVE / HYDRANT
- DRAINAGE HOUSING CONNECTION / MANHOLE
- DRAINAGE
- SEWER
- GARAGE LOCATION
- ACCESS RESTRICTION
- POWER DOME - MINI PILLAR
- POWER DOME - UNIVERSAL PILLAR
- STREETLIGHTS
- PADMOUNT SITE
- OPTICAL FIBRE COMMUNICATION / PIT
- RETAINING WALL
- FOOTPATH
- RETAINED TREES
- INDICATIVE STREET TREES

- TOP OF KERB HEIGHT
- SPOT LEVEL
- PAD LEVEL
- ROAD LEVEL
- CROSS OVER (BY OWNER)
- SITE CLASSIFICATION**  
**A CLASS 'A'**
- RESIDENTIAL DENSITY**  
R30 R40 R50
- INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-)**  
12.5 19 29



# FRASER LANDING STAGE 5



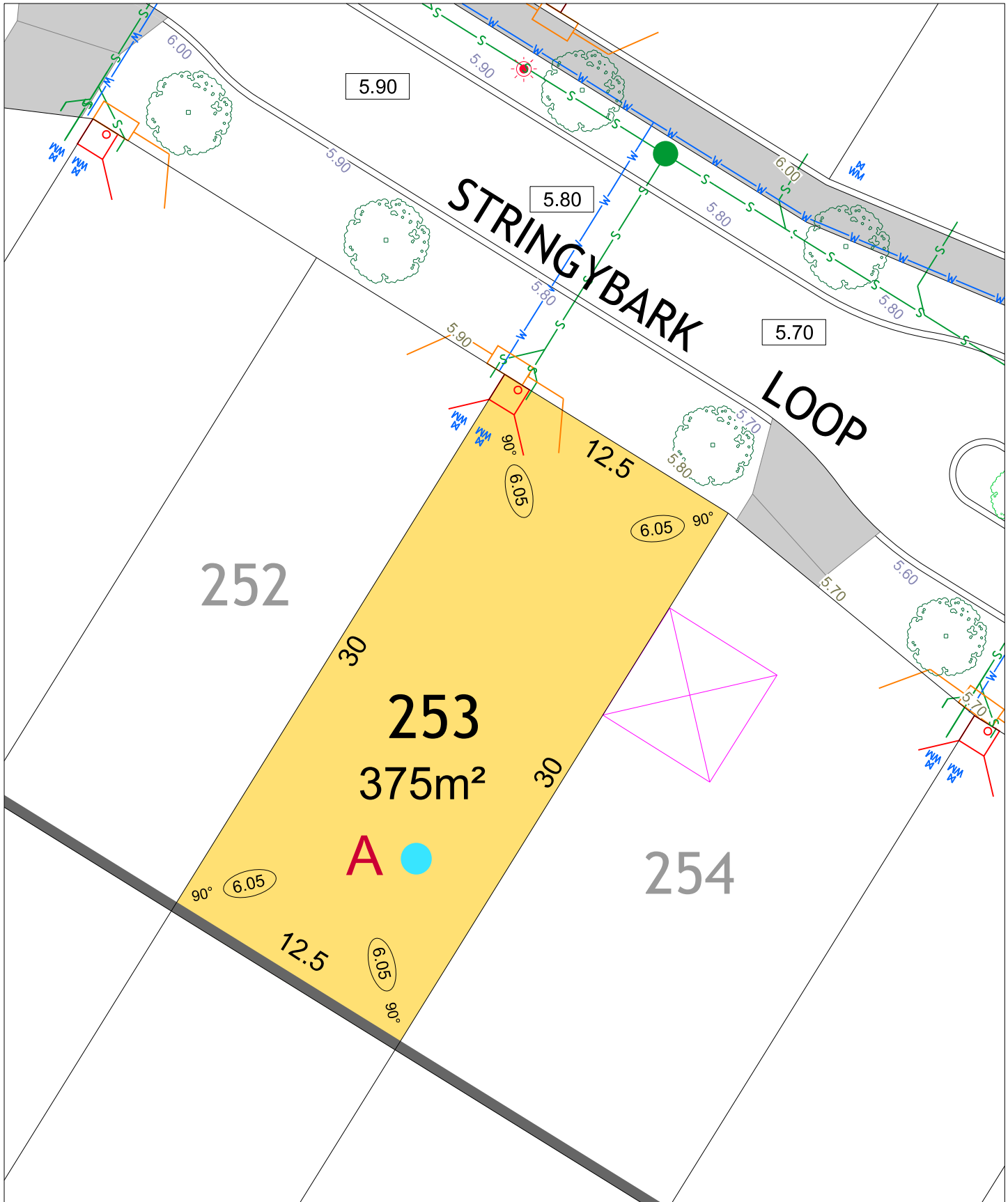
SCALE 1:250

MNG. Ref: 94036lip-202d Date: 12/08/2022

All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

## LEGEND

	WATER		POWER DOME - MINI PILLAR		TOP OF KERB HEIGHT
	WATER METER		POWER DOME - UNIVERSAL PILLAR		SPOT LEVEL
	VALVE / HYDRANT		STREETLIGHTS		PAD LEVEL
	SEWER		PADMOUNT SITE		ROAD LEVEL
	DRAINAGE HOUSING CONNECTION / MANHOLE		OPTICAL FIBRE COMMUNICATION / PIT		CROSS OVER (BY OWNER)
	DRAINAGE		RETAINING WALL	SITE CLASSIFICATION	
	GARAGE LOCATION		FOOTPATH	CLASS 'A'	
	ACCESS RESTRICTION		RETAINED TREES	RESIDENTIAL DENSITY	
			INDICATIVE STREET TREES		R30
					R40
					R50
				INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-)	
					12.5
					19
					29



# FRASER LANDING STAGE 5



SCALE 1:250

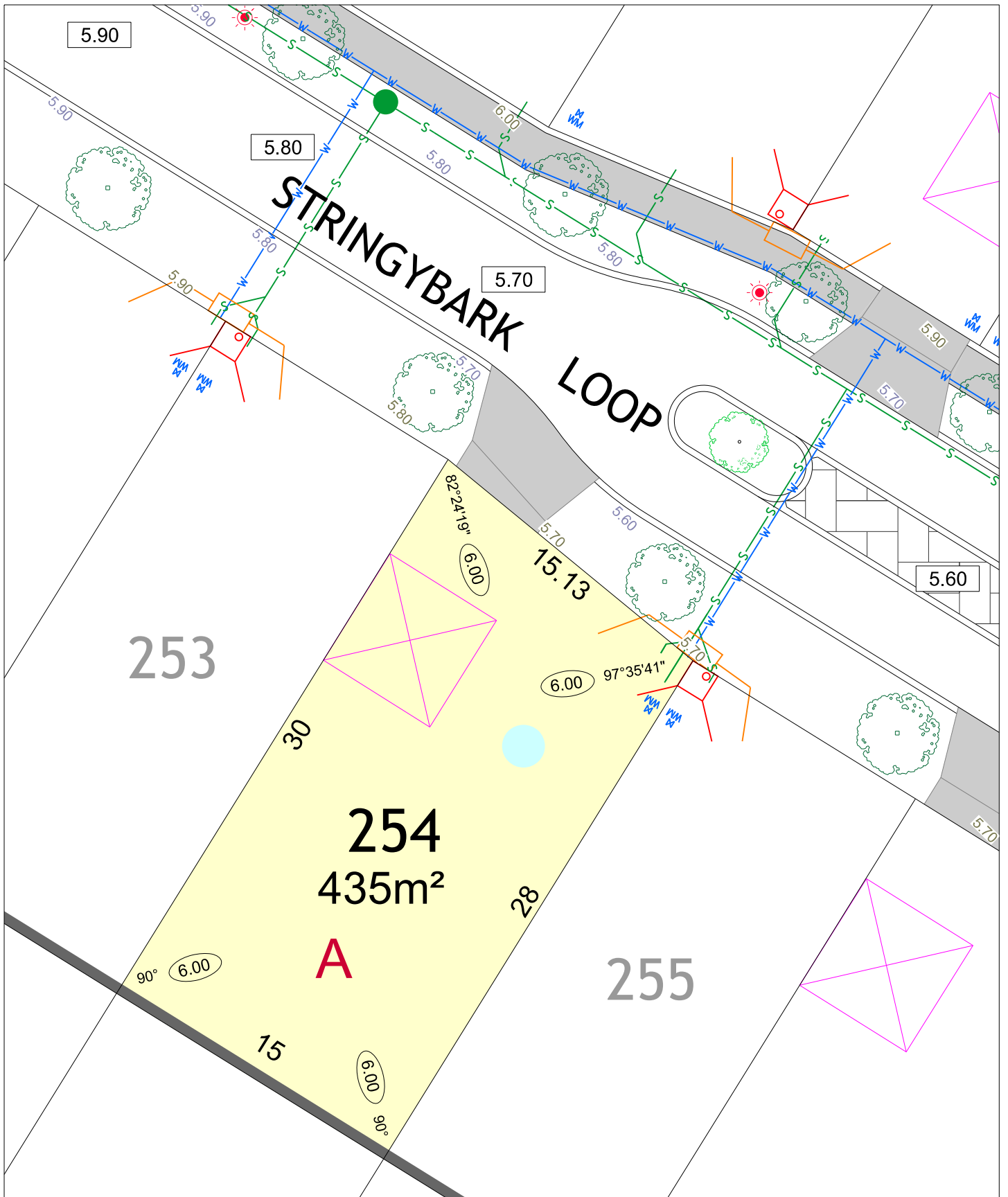
MNG. Ref: 94036lip-202d Date: 12/08/2022

All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

## LEGEND

- WATER
- WATER METER
- VALVE / HYDRANT
- DRAINAGE HOUSING CONNECTION / MANHOLE
- DRAINAGE
- SEWER
- GARAGE LOCATION
- ACCESS RESTRICTION
- POWER DOME - MINI PILLAR
- POWER DOME - UNIVERSAL PILLAR
- STREETLIGHTS
- PADMOUNT SITE
- OPTICAL FIBRE COMMUNICATION / PIT
- RETAINING WALL
- FOOTPATH
- RETAINED TREES
- INDICATIVE STREET TREES

- TOP OF KERB HEIGHT
- SPOT LEVEL
- PAD LEVEL
- ROAD LEVEL
- CROSS OVER (BY OWNER)
- SITE CLASSIFICATION**  
A CLASS 'A'
- RESIDENTIAL DENSITY**  
R30 R40 R50
- INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-)**  
12.5 19 29



# FRASER LANDING STAGE 5



SCALE 1:250

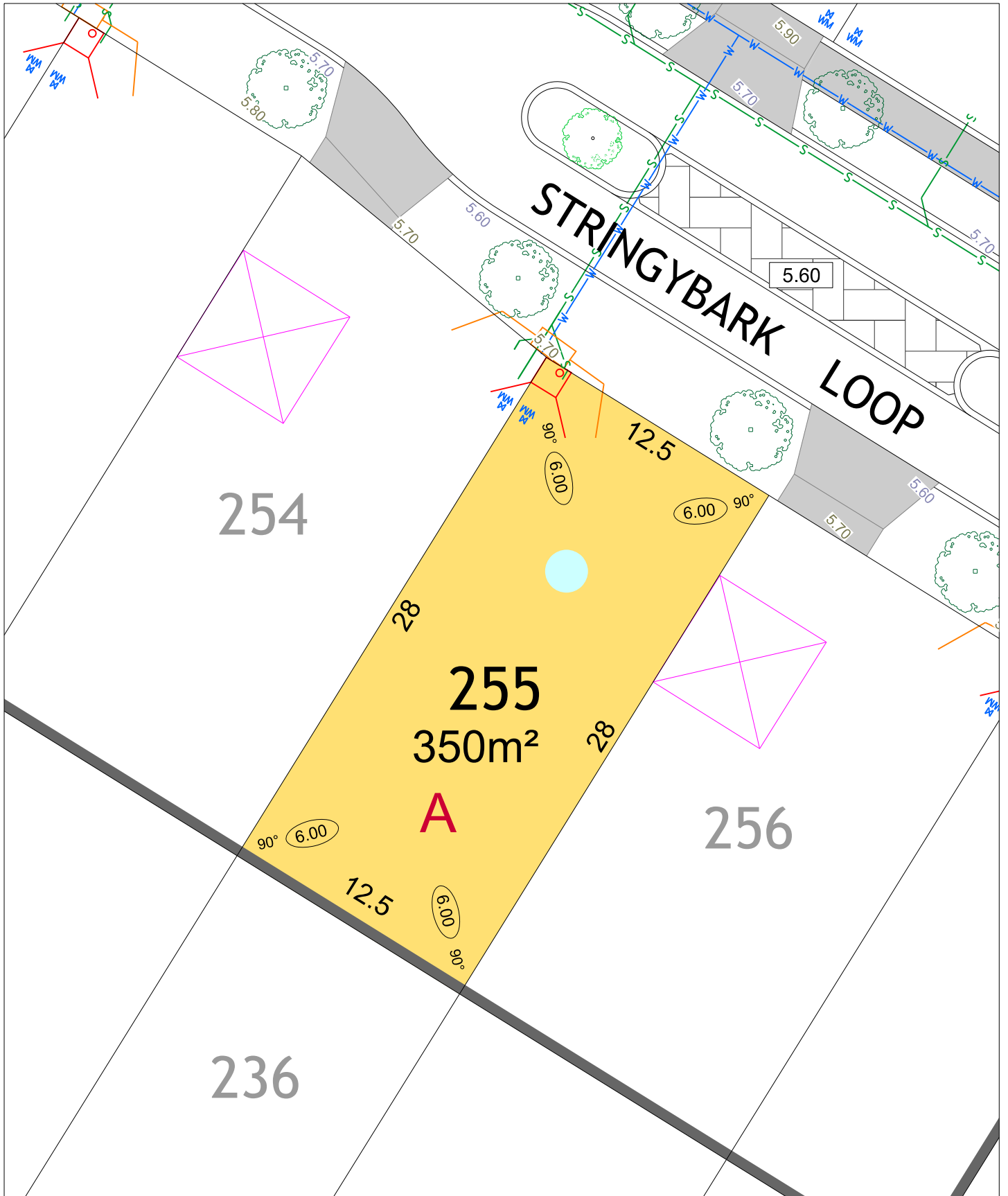
MNG. Ref: 94036lip-202d Date: 12/08/2022

All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

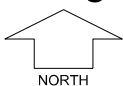
## LEGEND

- WATER
- WATER METER
- VALVE / HYDRANT
- DRAINAGE HOUSING CONNECTION / MANHOLE
- DRAINAGE
- SEWER
- GARAGE LOCATION
- ACCESS RESTRICTION
- POWER DOME - MINI PILLAR
- POWER DOME - UNIVERSAL PILLAR
- STREETLIGHTS
- PADMOUNT SITE
- OPTICAL FIBRE COMMUNICATION / PIT
- RETAINING WALL
- FOOTPATH
- RETAINED TREES
- INDICATIVE STREET TREES

- 26.80 TOP OF KERB HEIGHT
- 26.16 SPOT LEVEL
- 25.32 PAD LEVEL
- 25.40 ROAD LEVEL
- CROSS OVER (BY OWNER)
- SITE CLASSIFICATION**  
**A CLASS 'A'**
- RESIDENTIAL DENSITY**  
R30 R40 R50
- INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-)**  
12.5 19 29



# FRASER LANDING STAGE 5



SCALE 1:250

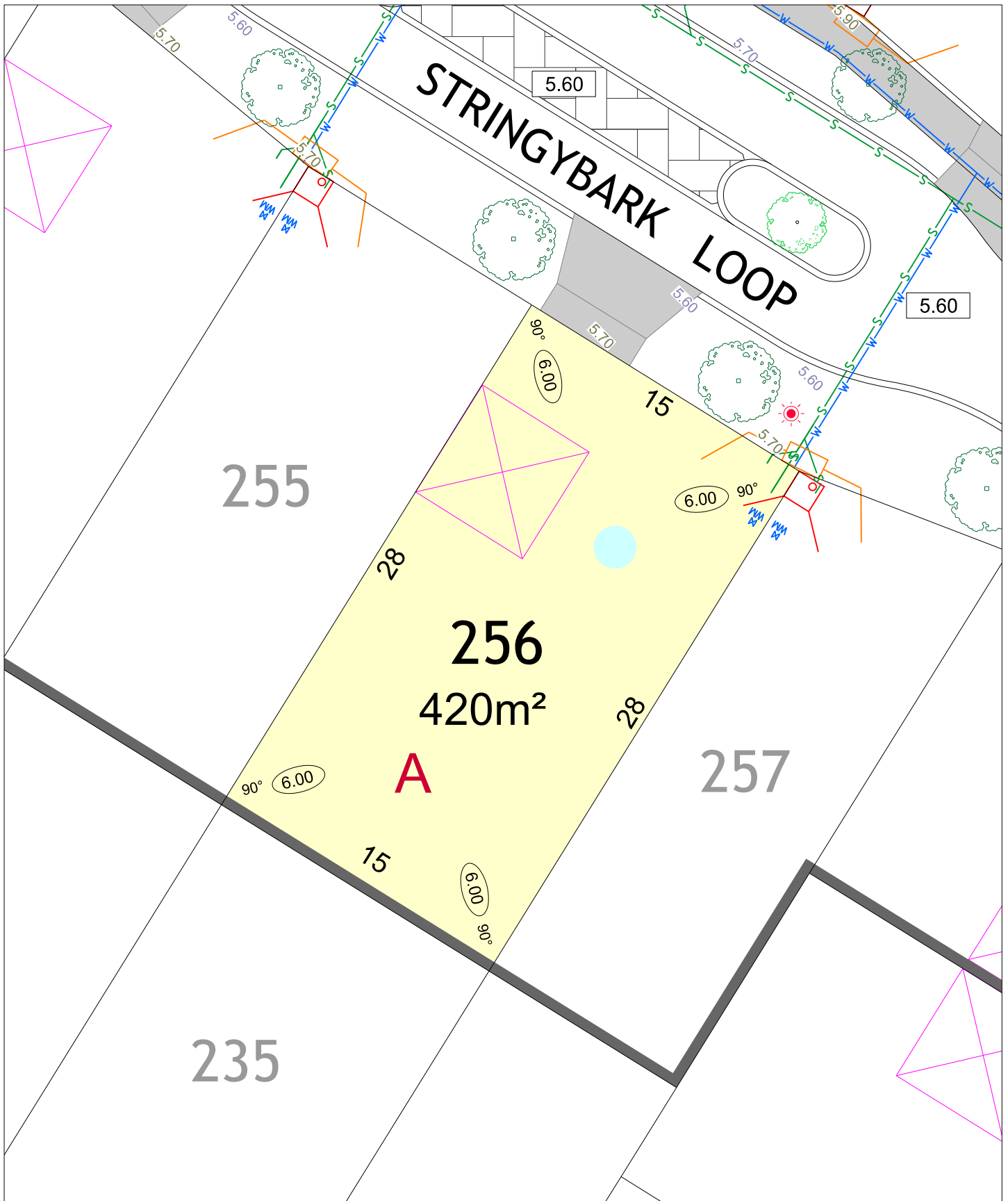
MNG. Ref: 94036lip-202d Date: 12/08/2022

All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

## LEGEND

- WATER
- WATER METER
- VALVE / HYDRANT
- DRAINAGE HOUSING CONNECTION / MANHOLE
- DRAINAGE
- SEWER
- GARAGE LOCATION
- ACCESS RESTRICTION
- POWER DOME - MINI PILLAR
- POWER DOME - UNIVERSAL PILLAR
- STREETLIGHTS
- PADMOUNT SITE
- OPTICAL FIBRE COMMUNICATION / PIT
- RETAINING WALL
- FOOTPATH
- RETAINED TREES
- INDICATIVE STREET TREES

- TOP OF KERB HEIGHT
- SPOT LEVEL
- PAD LEVEL
- ROAD LEVEL
- CROSS OVER (BY OWNER)
- SITE CLASSIFICATION**  
A CLASS 'A'
- RESIDENTIAL DENSITY**  
R30 R40 R50
- INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-)**  
12.5 19 29



# FRASER LANDING STAGE 5



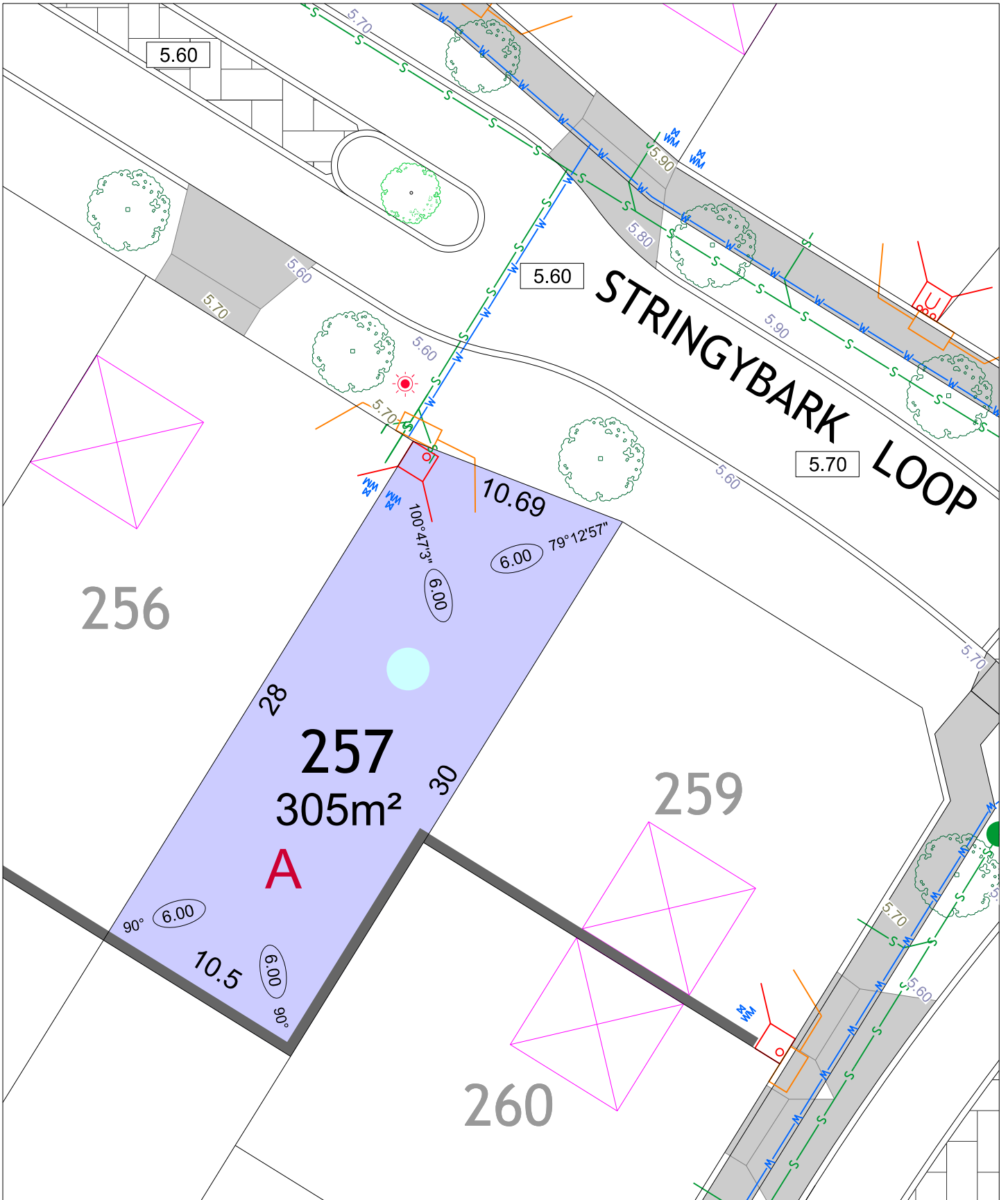
SCALE 1:250

MNG. Ref: 94036lip-202d Date: 12/08/2022  
 All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

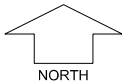
## LEGEND

- |  |                                       |  |                                   |  |                               |
|--|---------------------------------------|--|-----------------------------------|--|-------------------------------|
|  | WATER                                 |  | POWER DOME - MINI PILLAR          |  | TOP OF KERB HEIGHT SPOT LEVEL |
|  | WATER METER                           |  | POWER DOME - UNIVERSAL PILLAR     |  | PAD LEVEL                     |
|  | VALVE / HYDRANT                       |  | STREETLIGHTS                      |  | ROAD LEVEL                    |
|  | DRAINAGE HOUSING CONNECTION / MANHOLE |  | PADMOUNT SITE                     |  | CROSS OVER (BY OWNER)         |
|  | DRAINAGE                              |  | OPTICAL FIBRE COMMUNICATION / PIT | SITE CLASSIFICATION                      |                               |
|  | SEWER                                 |  | RETAINING WALL                    | A CLASS 'A'                              |                               |
|  | GARAGE LOCATION                       |  | FOOTPATH                          | RESIDENTIAL DENSITY                      |                               |
|  | ACCESS RESTRICTION                    |  | RETAINED TREES                    | R30 R40 R50                              |                               |
|  |                                       |  | INDICATIVE STREET TREES           | INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-) |                               |
|  |                                       |  |                                   | 12.5 19 29                               |                               |





# FRASER LANDING STAGE 5



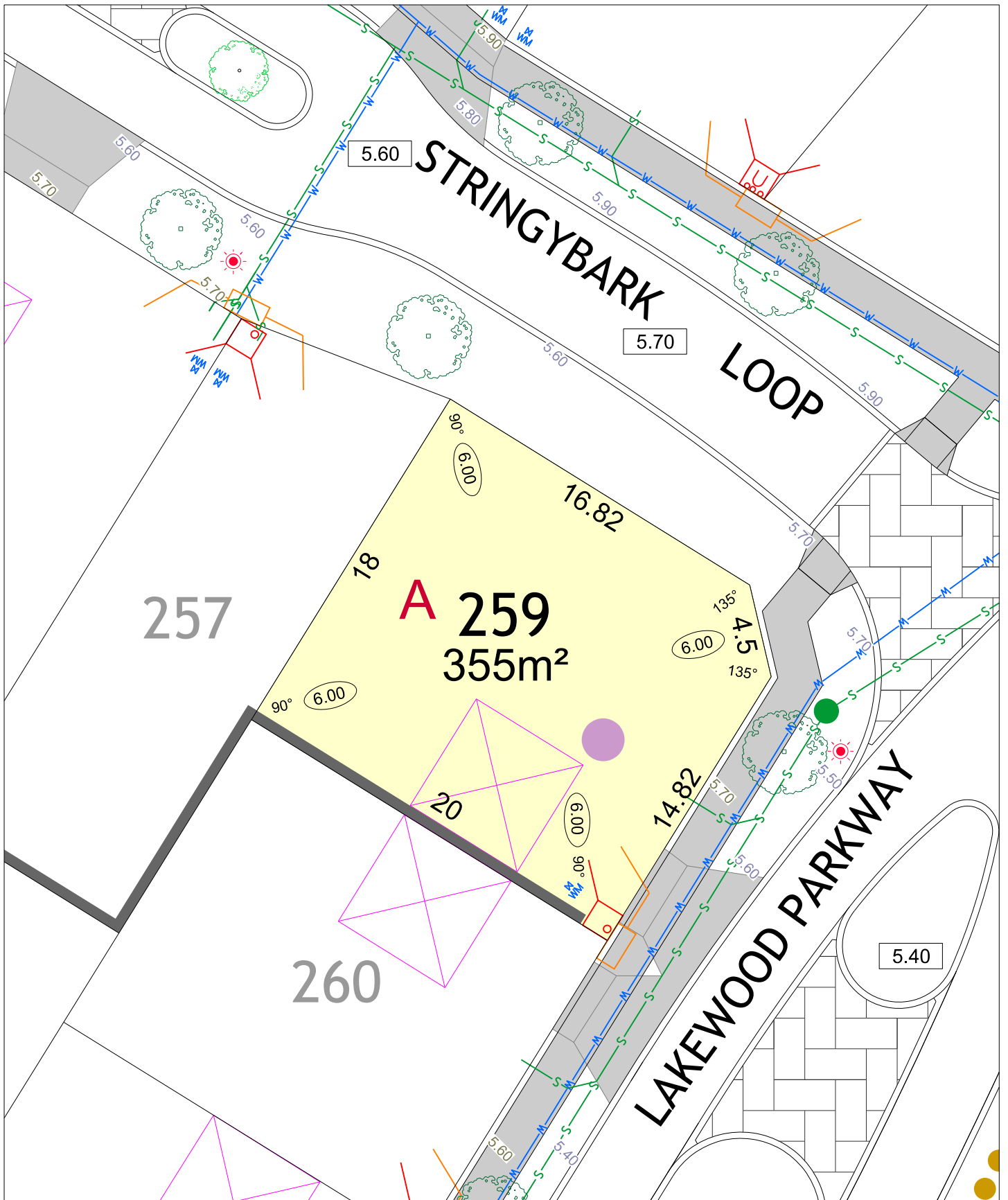
SCALE 1:250

MNG. Ref: 94036lip-202d Date: 12/08/2022  
 All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

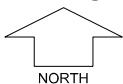
## LEGEND

- WATER
- WATER METER
- VALVE / HYDRANT
- DRAINAGE HOUSING CONNECTION / MANHOLE
- DRAINAGE
- SEWER
- GARAGE LOCATION
- ACCESS RESTRICTION
- POWER DOME - MINI PILLAR
- POWER DOME - UNIVERSAL PILLAR
- STREETLIGHTS
- PADMOUNT SITE
- OPTICAL FIBRE COMMUNICATION / PIT
- RETAINING WALL
- FOOTPATH
- RETAINED TREES
- INDICATIVE STREET TREES

- TOP OF KERB HEIGHT
- SPOT LEVEL
- PAD LEVEL
- ROAD LEVEL
- CROSS OVER (BY OWNER)
- SITE CLASSIFICATION**  
 CLASS 'A'
- RESIDENTIAL DENSITY**  
 R30  
 R40  
 R50
- INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-)**  
 12.5  
 19  
 29



# FRASER LANDING STAGE 5



SCALE 1:250

MNG. Ref: 94036lip-202d Date: 12/08/2022

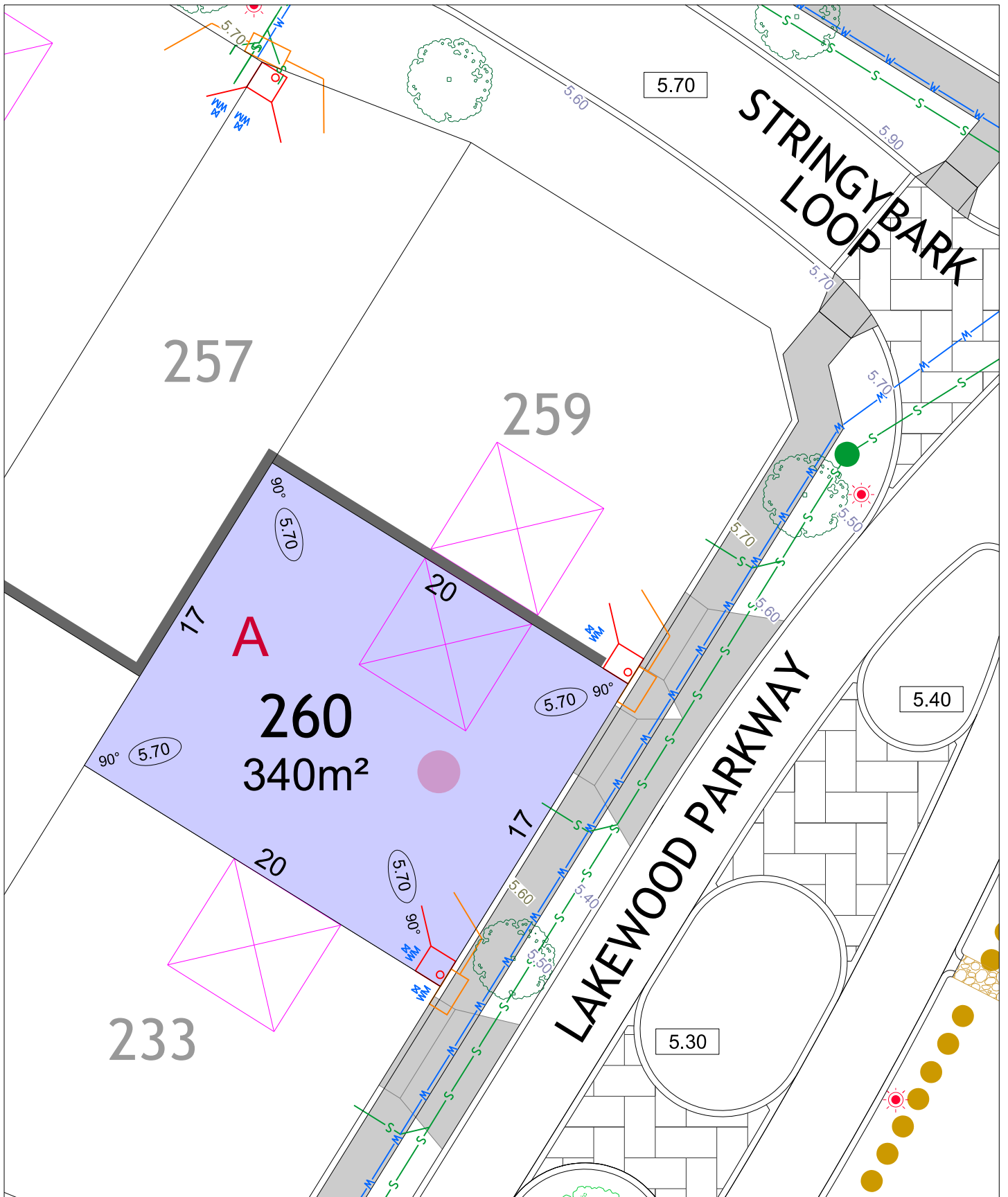
All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

## LEGEND

- WATER
- WATER METER
- VALVE / HYDRANT
- DRAINAGE HOUSING CONNECTION / MANHOLE
- DRAINAGE
- SEWER
- GARAGE LOCATION
- ACCESS RESTRICTION
- POWER DOME - MINI PILLAR
- POWER DOME - UNIVERSAL PILLAR
- STREETLIGHTS
- PADMOUNT SITE
- OPTICAL FIBRE COMMUNICATION / PIT
- RETAINING WALL
- FOOTPATH
- RETAINED TREES
- INDICATIVE STREET TREES

- TOP OF KERB HEIGHT
- SPOT LEVEL
- PAD LEVEL
- ROAD LEVEL
- CROSS OVER (BY OWNER)
- SITE CLASSIFICATION**  
**A CLASS 'A'**
- RESIDENTIAL DENSITY**  
R30 R40 R50
- INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-)**  
12.5 19 29





# FRASER LANDING STAGE 5



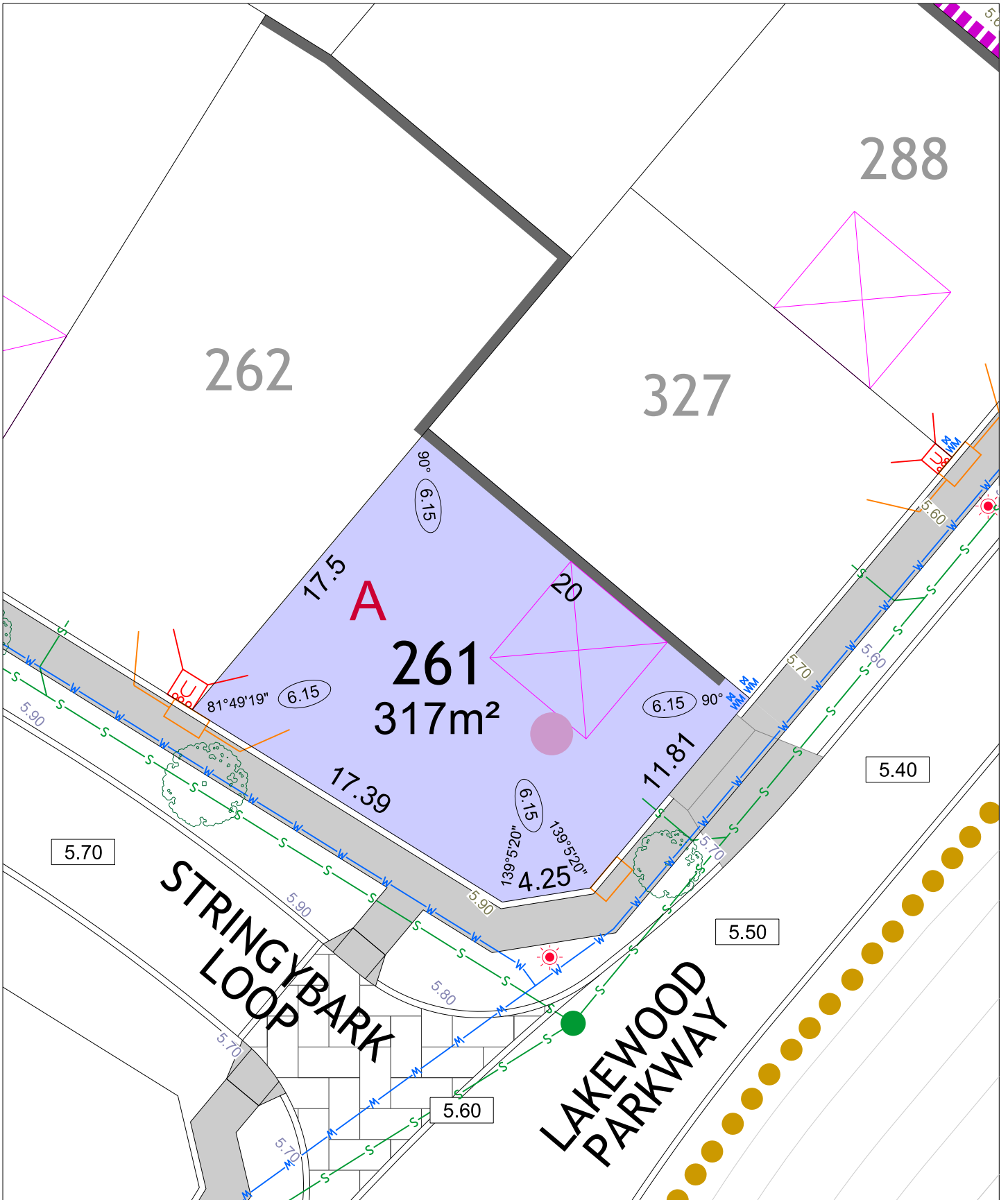
SCALE 1:250

MNG. Ref: 94036lip-202d Date: 12/08/2022  
 All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

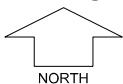
## LEGEND

- WATER
- WATER METER
- VALVE / HYDRANT
- DRAINAGE HOUSING CONNECTION / MANHOLE
- DRAINAGE
- SEWER
- GARAGE LOCATION
- ACCESS RESTRICTION
- POWER DOME - MINI PILLAR
- POWER DOME - UNIVERSAL PILLAR
- STREETLIGHTS
- PADMOUNT SITE
- OPTICAL FIBRE COMMUNICATION / PIT
- RETAINING WALL
- FOOTPATH
- RETAINED TREES
- INDICATIVE STREET TREES

- TOP OF KERB HEIGHT
- SPOT LEVEL
- PAD LEVEL
- ROAD LEVEL
- CROSS OVER (BY OWNER)
- SITE CLASSIFICATION**  
 CLASS 'A'
- RESIDENTIAL DENSITY**  
 R30  
 R40  
 R50
- INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-)**  
 12.5  
 19  
 29



**FRASER  
LANDING  
STAGE 5**



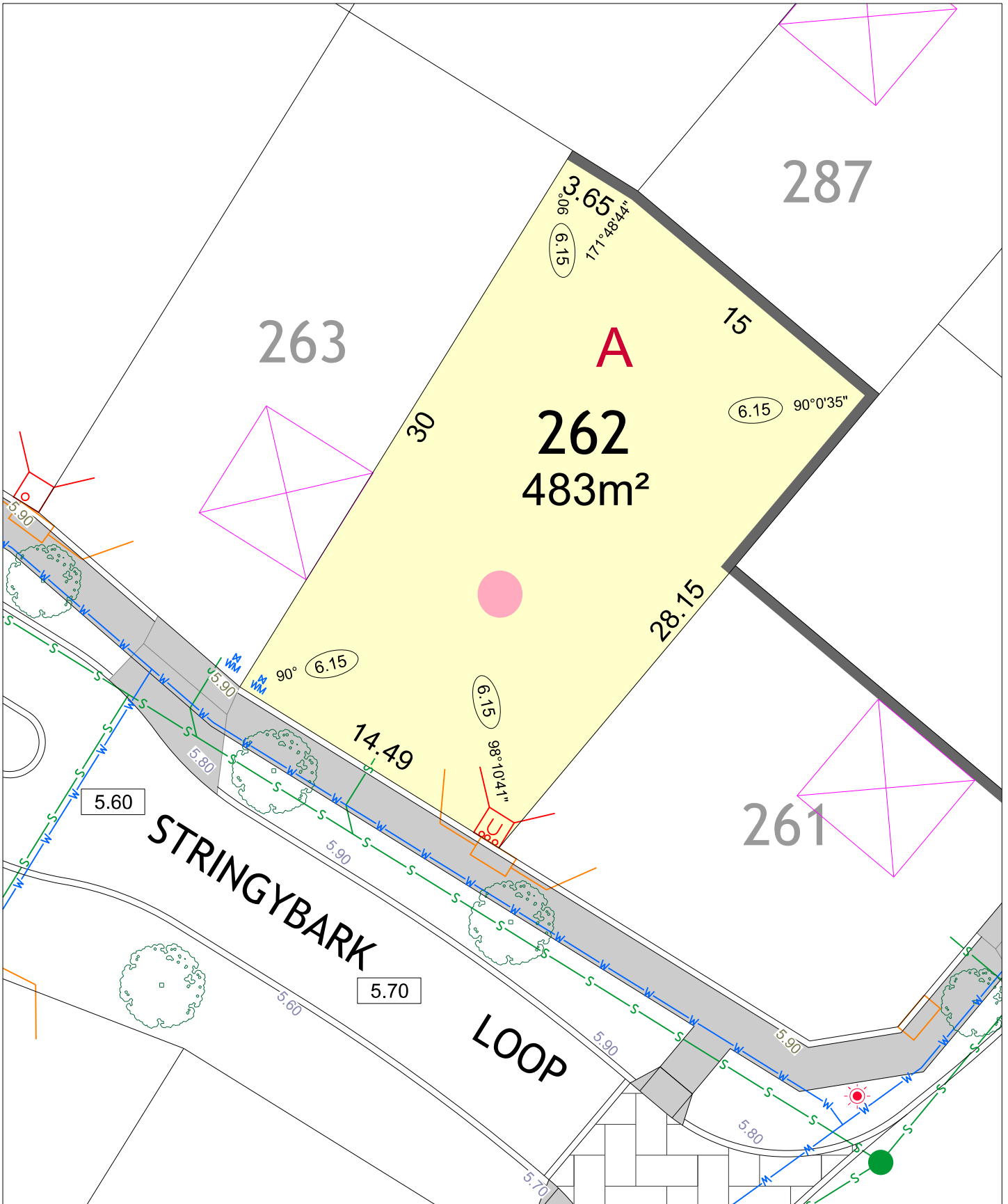
SCALE 1:250

MNG. Ref: 94036lip-202d Date: 12/08/2022  
 All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

**LEGEND**

- WATER
- WATER METER
- VALVE / HYDRANT
- DRAINAGE HOUSING CONNECTION / MANHOLE
- DRAINAGE
- SEWER
- GARAGE LOCATION
- ACCESS RESTRICTION
- POWER DOME - MINI PILLAR
- POWER DOME - UNIVERSAL PILLAR
- STREETLIGHTS
- PADMOUNT SITE
- OPTICAL FIBRE COMMUNICATION / PIT
- RETAINING WALL
- FOOTPATH
- RETAINED TREES
- INDICATIVE STREET TREES

- TOP OF KERB HEIGHT
- SPOT LEVEL
- PAD LEVEL
- ROAD LEVEL
- CROSS OVER (BY OWNER)
- SITE CLASSIFICATION**  
A CLASS 'A'
- RESIDENTIAL DENSITY**  
R30 R40 R50
- INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-)**  
12.5 19 29



# FRASER LANDING STAGE 5



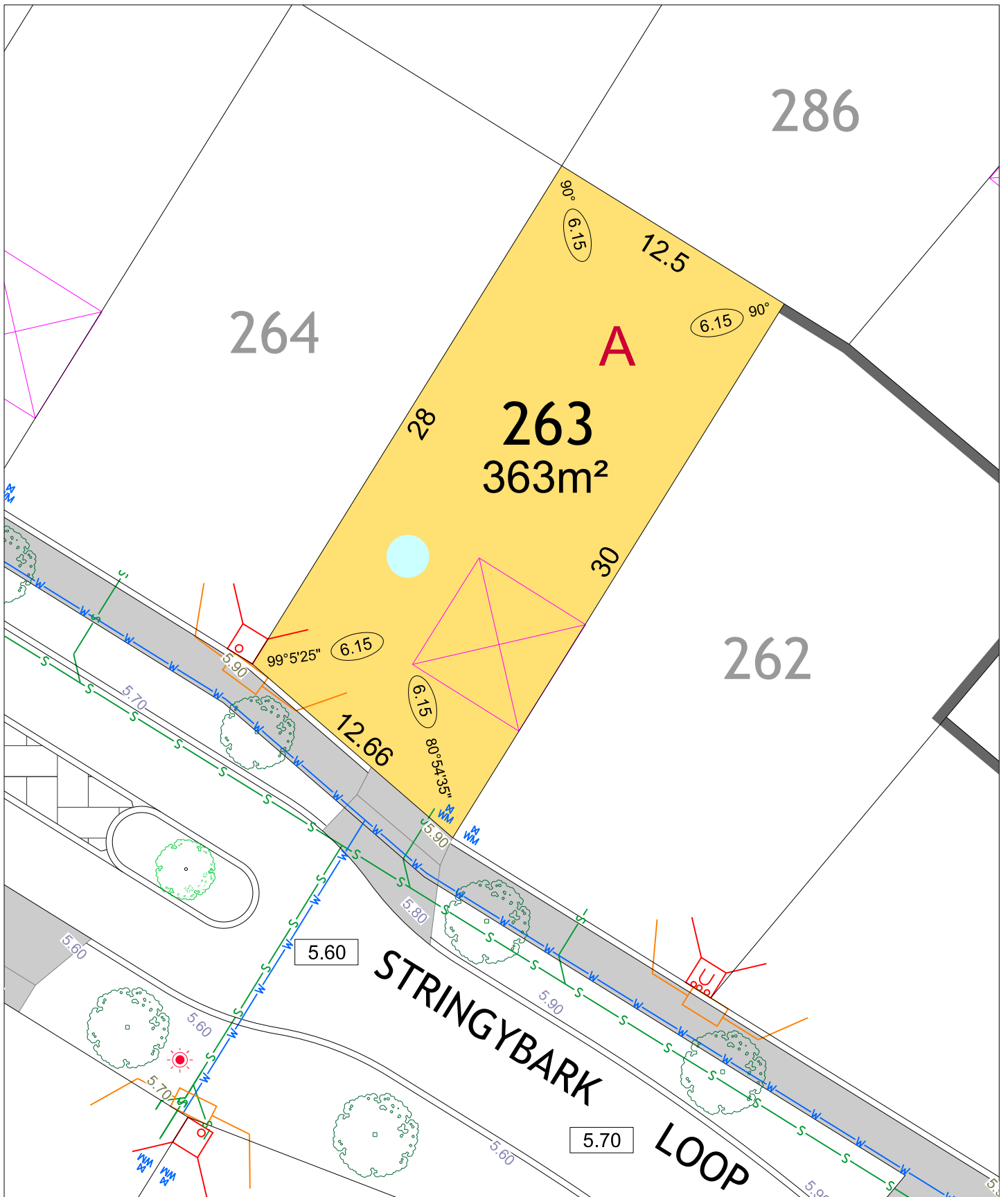
SCALE 1:250

MNG. Ref: 94036lip-202d Date: 12/08/2022

All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

## LEGEND

	WATER		POWER DOME - MINI PILLAR		TOP OF KERB HEIGHT
	WATER METER		POWER DOME - UNIVERSAL PILLAR		SPOT LEVEL
	VALVE / HYDRANT		STREETLIGHTS		PAD LEVEL
	DRAINAGE HOUSING CONNECTION / MANHOLE		PADMOUNT SITE		ROAD LEVEL
	DRAINAGE		OPTICAL FIBRE COMMUNICATION / PIT		CROSS OVER (BY OWNER)
	SEWER		RETAINING WALL		SITE CLASSIFICATION A CLASS 'A'
	GARAGE LOCATION		FOOTPATH		RESIDENTIAL DENSITY R30 R40 R50
	ACCESS RESTRICTION		RETAINED TREES		INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-)
			INDICATIVE STREET TREES		



# FRASER LANDING STAGE 5

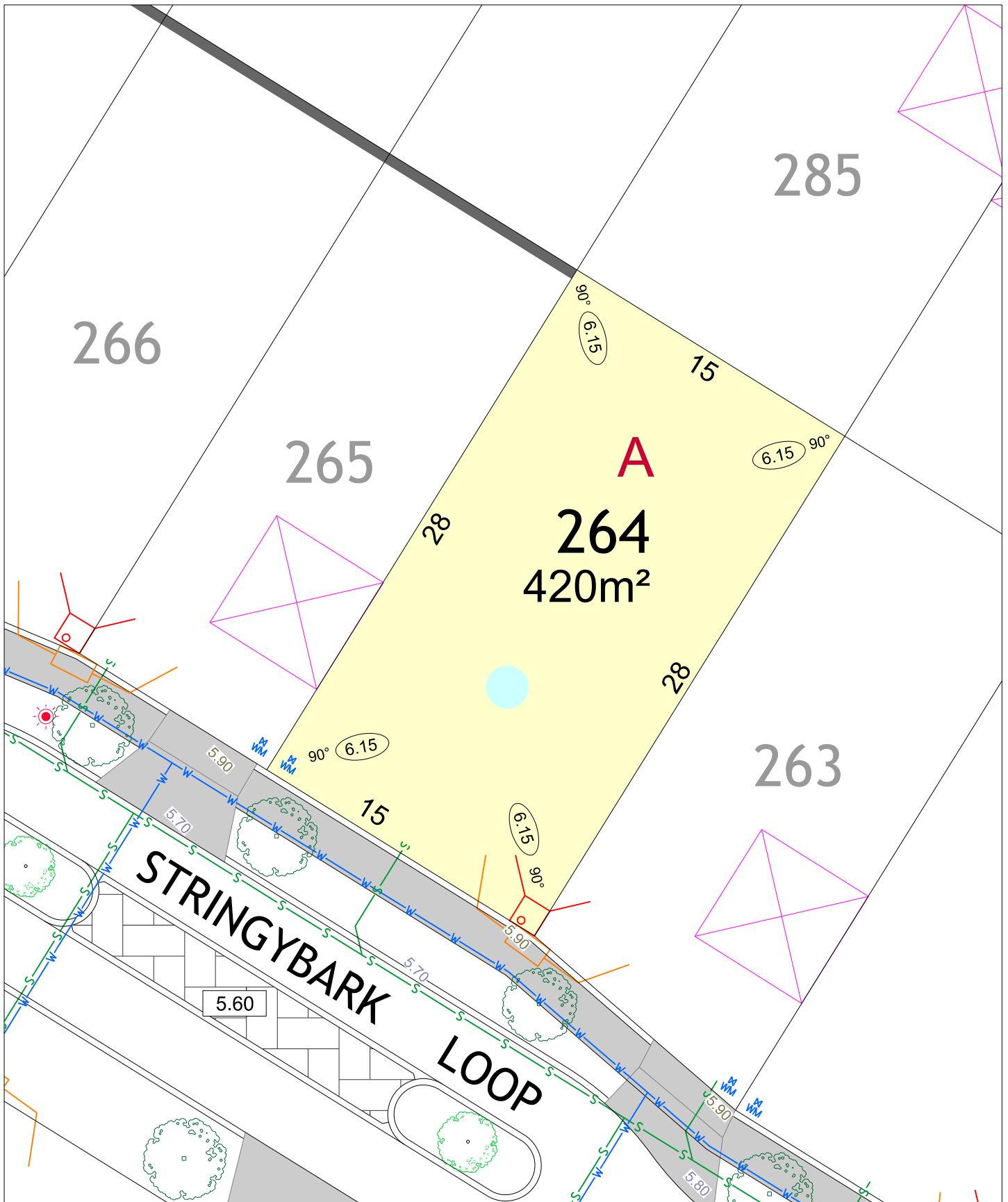
SCALE 1:250



MNG. Ref: 94036lip-202d Date: 12/08/2022  
 All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

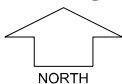
## LEGEND

- |  |                                     |  |                                   |  |  |
|--|-------------------------------------|--|-----------------------------------|--|--|
|  | WATER                               |  | POWER DOME - MINI PILLAR          |  | TOP OF KERB HEIGHT                                     |
|  | WATER METER                         |  | POWER DOME - UNIVERSAL PILLAR     |  | SPOT LEVEL   |
|  | VALVE / HYDRANT                     |  | STREETLIGHTS                      |  | PAD LEVEL  |
|  | DRAINAGE HOUSING CONNECTION/MANHOLE |  | PADMOUNT SITE                     |  | ROAD LEVEL   |
|  | DRAINAGE                            |  | OPTICAL FIBRE COMMUNICATION / PIT |  | CROSS OVER (BY OWNER)                                  |
|  | SEWER                               |  | RETAINING WALL                    |  | SITE CLASSIFICATION<br>A CLASS 'A'                     |
|  | GARAGE LOCATION                     |  | FOOTPATH                          |  | RESIDENTIAL DENSITY<br>R30 R40 R50                     |
|  | ACCESS RESTRICTION                  |  | RETAINED TREES                    |  | INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-)<br>12.5 19 29 |
|  |                                     |  | INDICATIVE STREET TREES           |  |  |



# FRASER LANDING STAGE 5

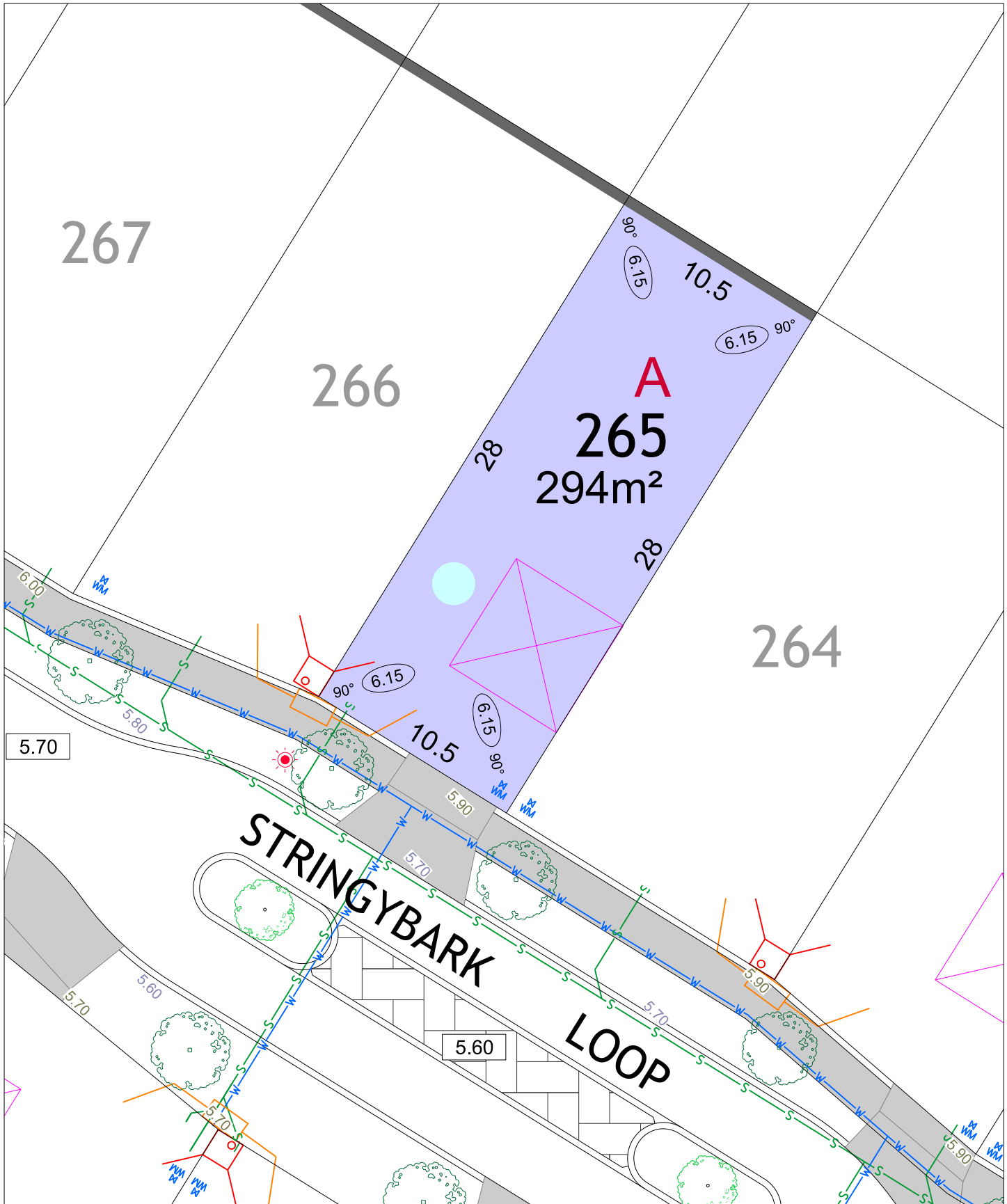
SCALE 1:250



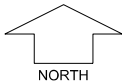
MNG. Ref: 94036lip-202d Date: 12/08/2022  
 All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

## LEGEND

- |  |                                       |  |                                   |  |  |
|--|---------------------------------------|--|-----------------------------------|--|--|
|  | WATER                                 |  | POWER DOME - MINI PILLAR          |  | TOP OF KERB HEIGHT                       |
|  | WATER METER                           |  | POWER DOME - UNIVERSAL PILLAR     |  | SPOT LEVEL                               |
|  | VALVE / HYDRANT                       |  | STREETLIGHTS                      |  | PAD LEVEL                                |
|  | DRAINAGE HOUSING CONNECTION / MANHOLE |  | PADMOUNT SITE                     |  | ROAD LEVEL                               |
|  | SEWER                                 |  | OPTICAL FIBRE COMMUNICATION / PIT |  | CROSS OVER (BY OWNER)                    |
|  | DRAINAGE                              |  | RETAINING WALL                    |  | SITE CLASSIFICATION                      |
|  | GARAGE LOCATION                       |  | FOOTPATH                          |  | A CLASS 'A'                              |
|  | ACCESS RESTRICTION                    |  | RETAINED TREES                    |  | RESIDENTIAL DENSITY                      |
|  |                                       |  | INDICATIVE STREET TREES           |  | R30 R40 R50                              |
|  |                                       |  |                                   |  | INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-) |
|  |                                       |  |                                   |  | 12.5 19 29                               |



# FRASER LANDING STAGE 5



SCALE 1:250

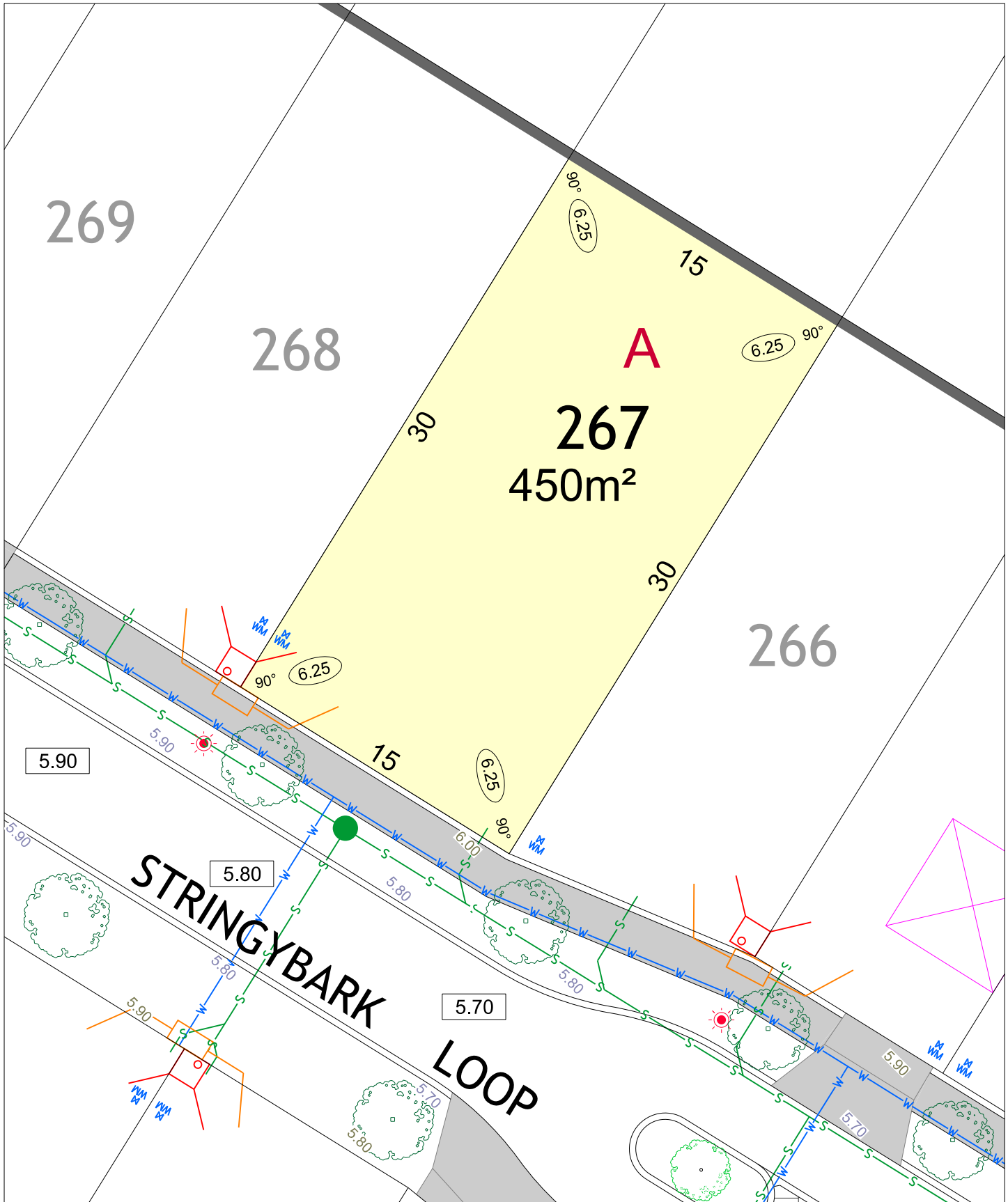
MNG. Ref: 94036lip-202d Date: 12/08/2022  
 All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

## LEGEND

- |  |                                       |  |                                   |  |  |
|--|---------------------------------------|--|-----------------------------------|--|--|
|  | WATER                                 |  | POWER DOME - MINI PILLAR          |  | TOP OF KERB HEIGHT                                     |
|  | WATER METER                           |  | POWER DOME - UNIVERSAL PILLAR     |  | SPOT LEVEL   |
|  | VALVE / HYDRANT                       |  | STREETLIGHTS                      |  | PAD LEVEL  |
|  | DRAINAGE HOUSING CONNECTION / MANHOLE |  | PADMOUNT SITE                     |  | ROAD LEVEL   |
|  | DRAINAGE                              |  | OPTICAL FIBRE COMMUNICATION / PIT |  | CROSS OVER (BY OWNER)                                  |
|  | SEWER                                 |  | RETAINING WALL                    |  | SITE CLASSIFICATION<br>A CLASS 'A'                     |
|  | GARAGE LOCATION                       |  | FOOTPATH                          |  | RESIDENTIAL DENSITY<br>R30 R40 R50                     |
|  | ACCESS RESTRICTION                    |  | RETAINED TREES                    |  | INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-)<br>12.5 19 29 |
|  |                                       |  | INDICATIVE STREET TREES           |  |  |







# FRASER LANDING STAGE 5



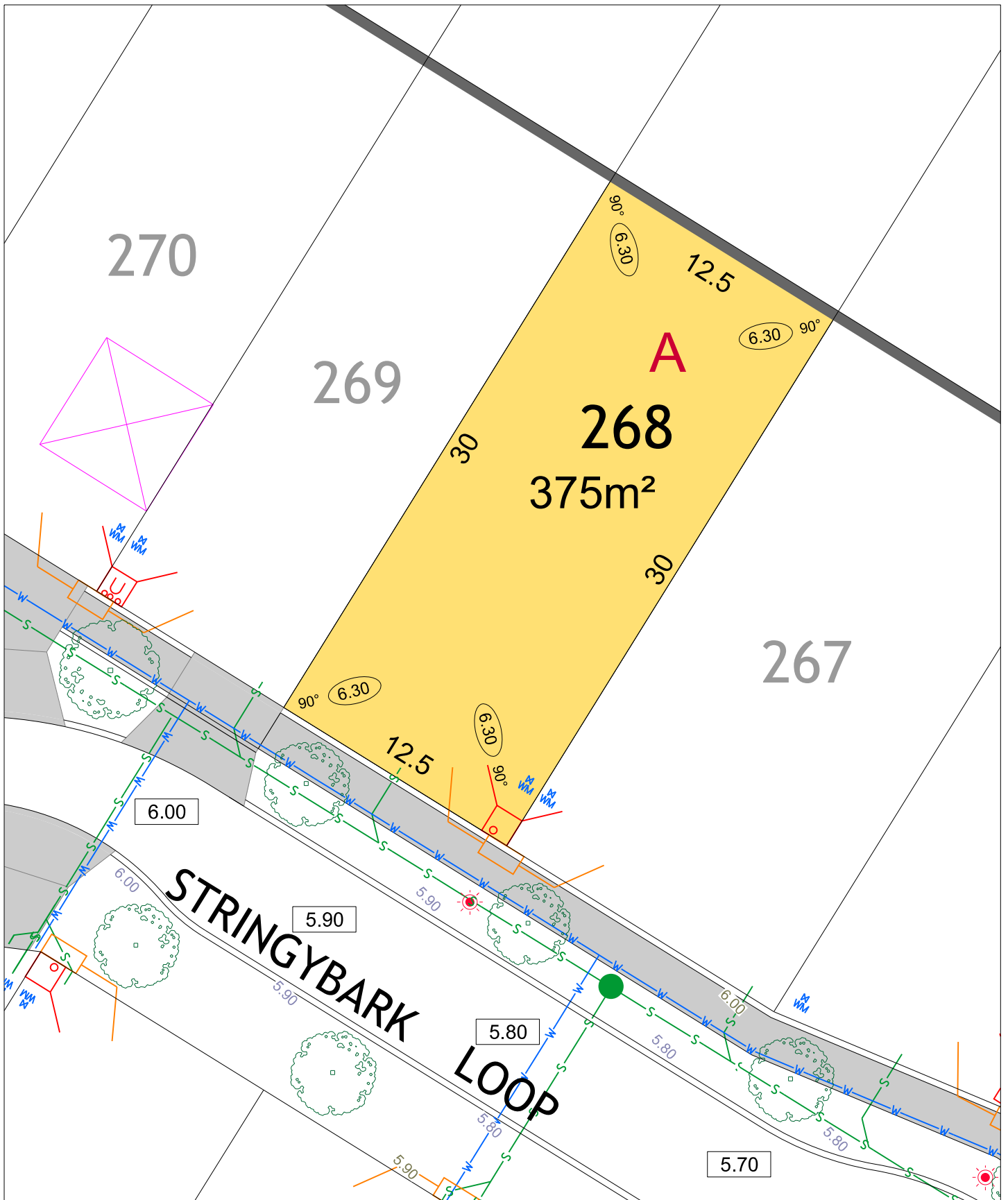
SCALE 1:250

MNG. Ref: 94036lip-202d Date: 12/08/2022  
 All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

## LEGEND

- WATER
- WATER METER
- VALVE / HYDRANT
- DRAINAGE HOUSING CONNECTION / MANHOLE
- DRAINAGE
- SEWER
- GARAGE LOCATION
- ACCESS RESTRICTION
- POWER DOME - MINI PILLAR
- POWER DOME - UNIVERSAL PILLAR
- STREETLIGHTS
- PADMOUNT SITE
- OPTICAL FIBRE COMMUNICATION / PIT
- RETAINING WALL
- FOOTPATH
- RETAINED TREES
- INDICATIVE STREET TREES

- TOP OF KERB HEIGHT
- SPOT LEVEL
- PAD LEVEL
- ROAD LEVEL
- CROSS OVER (BY OWNER)
- SITE CLASSIFICATION**  
A CLASS 'A'
- RESIDENTIAL DENSITY**  
R30 R40 R50
- INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-)**  
12.5 19 29



# FRASER LANDING STAGE 5



SCALE 1:250

MNG. Ref: 94036lip-202d Date: 12/08/2022  
 All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

## LEGEND

- WATER
- WATER METER
- VALVE / HYDRANT
- DRAINAGE HOUSING CONNECTION / MANHOLE
- DRAINAGE
- SEWER
- GARAGE LOCATION
- ACCESS RESTRICTION
- POWER DOME - MINI PILLAR
- POWER DOME - UNIVERSAL PILLAR
- STREETLIGHTS
- PADMOUNT SITE
- OPTICAL FIBRE COMMUNICATION / PIT
- RETAINING WALL
- FOOTPATH
- RETAINED TREES
- INDICATIVE STREET TREES

- TOP OF KERB HEIGHT
- SPOT LEVEL
- PAD LEVEL
- ROAD LEVEL
- CROSS OVER (BY OWNER)
- SITE CLASSIFICATION**  
A CLASS 'A'
- RESIDENTIAL DENSITY**  
R30 R40 R50
- INDICATIVE BUSHFIRE ATTACK LEVELS (BAL-)**  
12.5 19 29