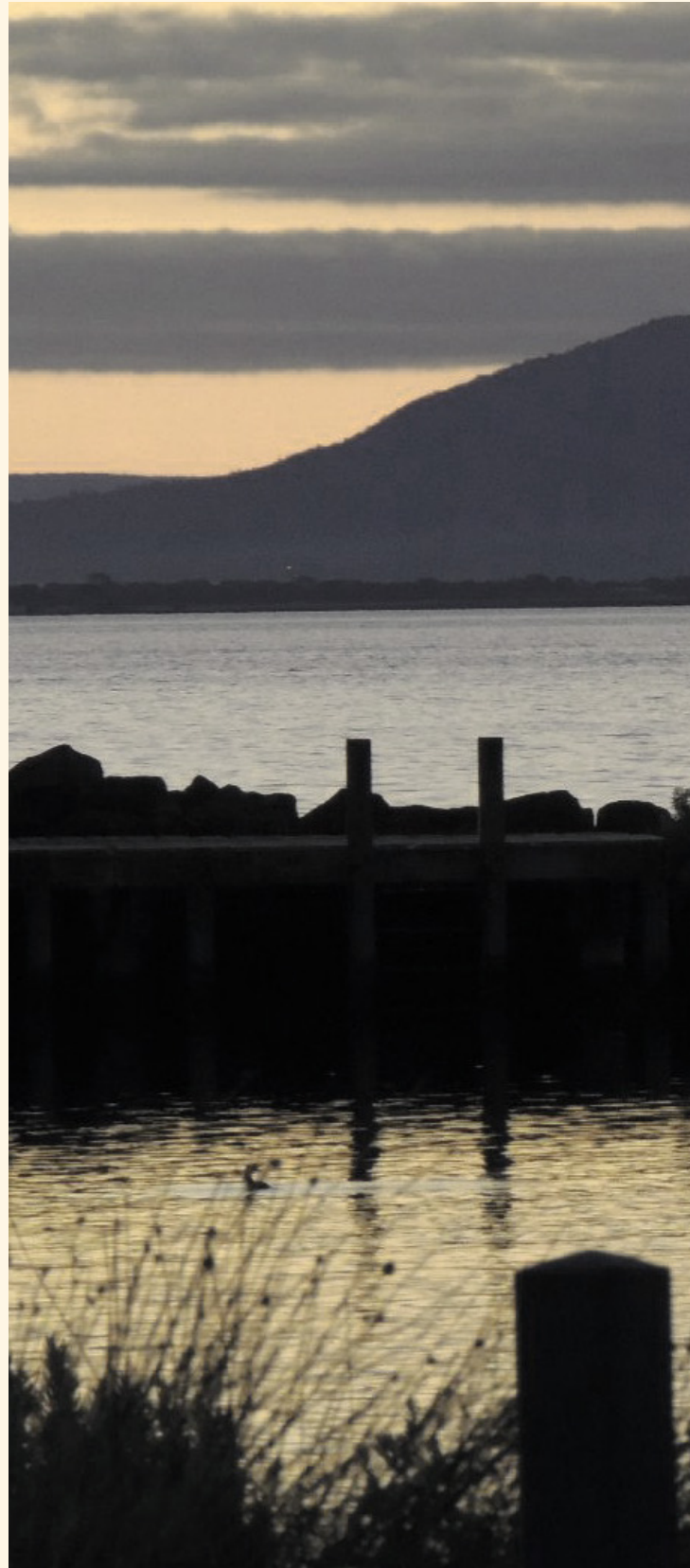




MEDIUM DENSITY GUIDELINES

CONTEMPORARY AND SPECIFIC



SUGGESTED MATERIALS AND COLOURS

OBJECTIVE

TO PROVIDE A WELL CONSIDERED AND RETRAINED COMBINATION OF MATERIALS AND COLOURS IN FACADES TO STRIKE A BALANCE BETWEEN HOUSING VARIETY AND STREETScape COHESION.

APPLICATION

- 1. MATERIALS ARE TO BE IN ACCORDANCE WITH THE BELOW REQUIREMENTS OR APPROVED BY THE DEVELOPER.
- 2. MASONARY CONSTRUCTION- PRIMARY MATERIAL FOR THE FACADE SHALL BE RENDER OR FEATURE BRICK.
- 3. ALL DWELLING FRONTAGES ARE TO COMPRISE OF A MINIMUM OF 3 PRIMARY MATERIALS.
- 4. STACKED STONE CLADDING IS NOT PERMITTED. STONE MUST ONLY BE USED IN LANDSCAPING ELEMENTS AN MUST APPEAR STRUCTURAL.

CONTEMPORARY MATERIALITY

1	BRICKWORK
2	VERTICAL GROOVE
3	WEATHERBOARD
4	TIMBER LOOK
5	RENDER
6	CONCRETE
7	METAL FINISH
8	METAL CLADDING



BRICKWORK - LIGHT



BRICKWORK - MID



BRICKWORK - DARK



WIDE VERTICAL GROOVES



THIN VERTICAL GROOVES



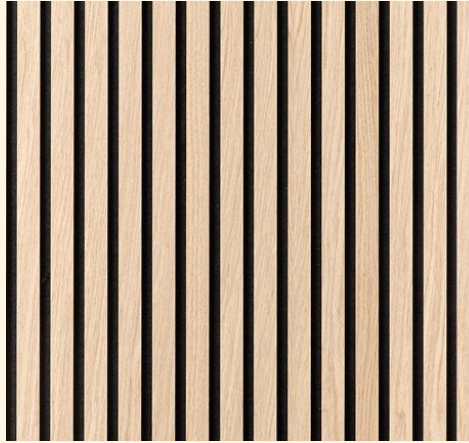
WEATHERBOARDS - PAINTED



PROFILED METAL CLADDING



PROFILED METAL CLADDING



PROFILED METAL CLADDING



RENDER



CONCRETE



FEATURE TIMBER CLADDING

STREETSCAPES

OBJECTIVE

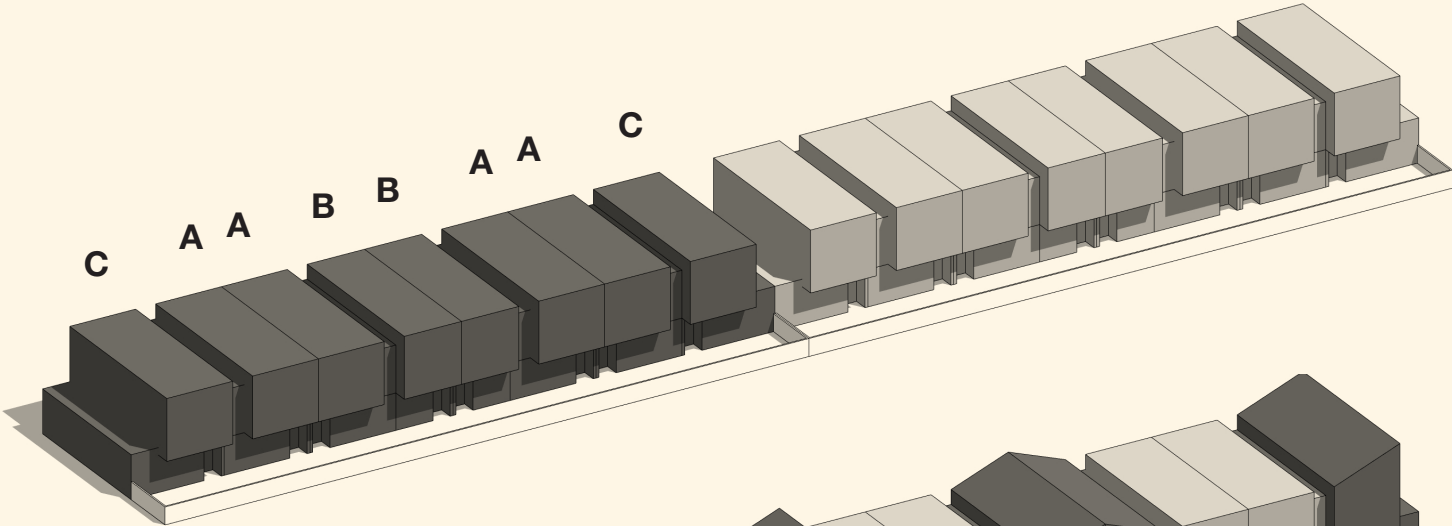
TO DELIVER A THOUGHTFUL, WELL CONSIDERED ENSEMBLE OF TOWNHOMES THAT EMBODY A CLEAR IDENTITY AND POSITIVELY CONTRIBUTES TO THE HEALTH AND WELLBEING OF RESIDENTS THROUGH A STRONG SENSE OF PLACE AND BELONGING.

APPLICATION

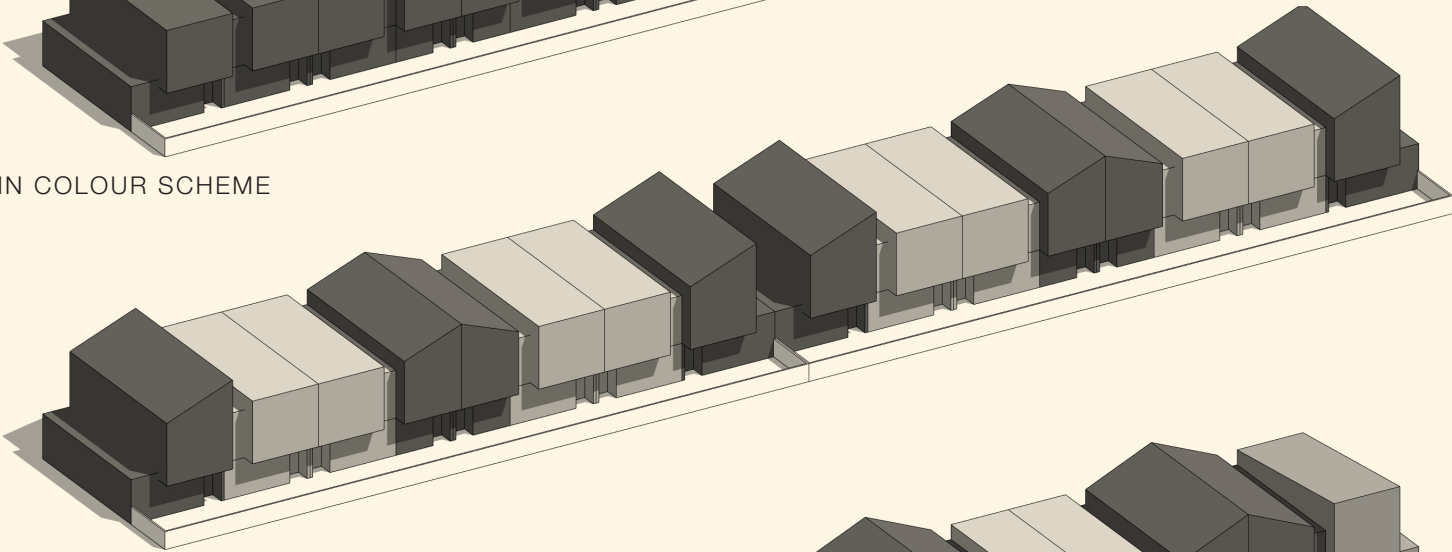
HOUSE REPITITION

1. THE HOUSE FACADES ARE DESIGNED TO BE ABLE TO ACCOMODATE A LARGE NUMBER OF REPITITIONS ALONG ANY STREET. THIS CAN OCCUR IN 3 WAYS-
 1. COLOUR SCHEME
 2. HOUSE TYPE.
 3. FACADE TYPE
2. 65M IS THE MAXIMUM RECOMMENDED LENGTH OF ANY TOWNHOUSE RUN ADOPTING THE SAME COLOUR SCHEME- FOR EITHER HOUSE OR FRONT FENCE.
3. ALL HOUSE TYPES TO MUST BE CONSIDERED AS PART OF THE GREATER STREETSCAPE COMPOSITION.
4. THE RHYTHM AND LOCATION OF CROSS-OVERS FOR EACH HOUSING TYPOLOGY SHOULD BE CONSIDERED WHEN COMPOSING THE STREETSCAPE.

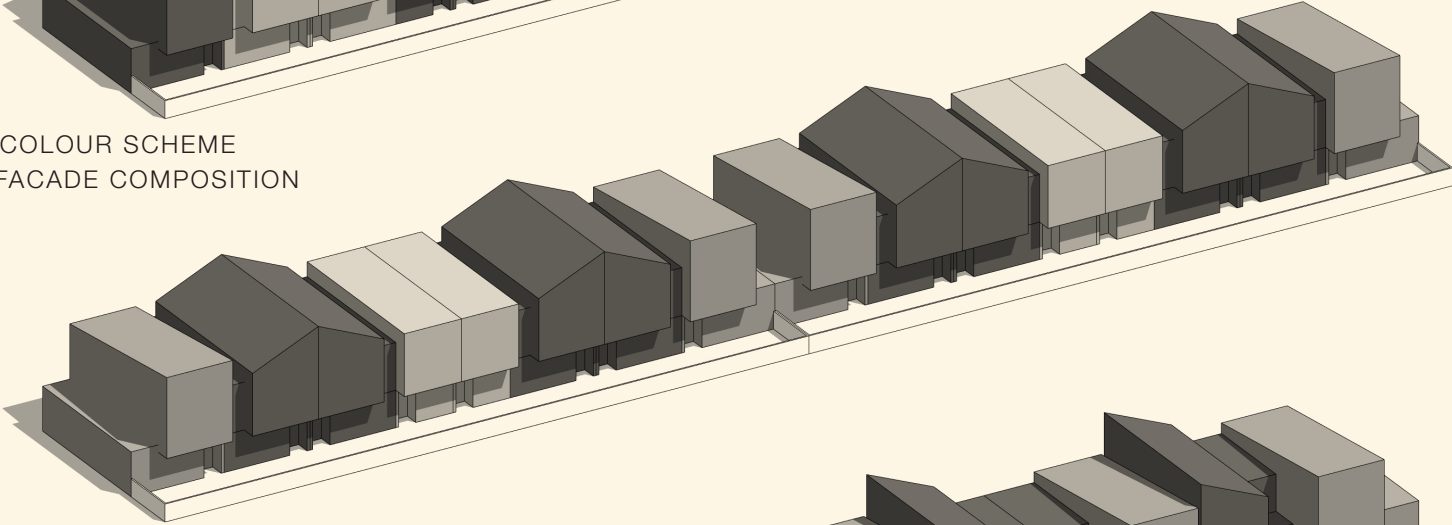
EXAMPLE FACADE RHYTHMS - MULTIPLE FACADE OPTIONS PER PLAN.



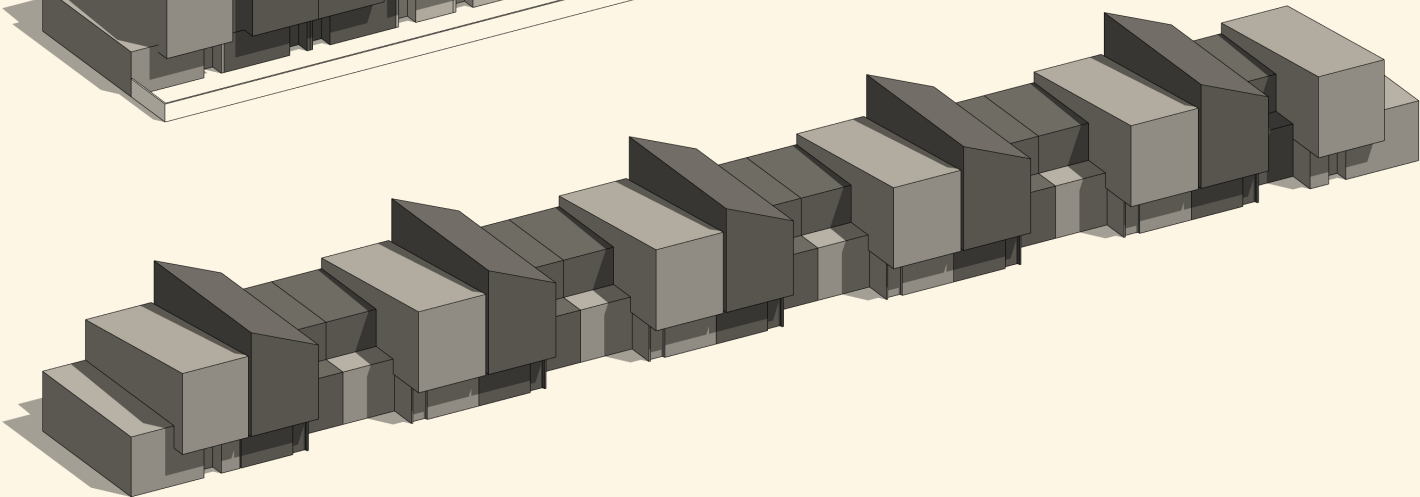
RHYTHM 1
REPITITION IN COLOUR SCHEME



RHYTHM 2
ALTERNATE COLOUR SCHEME
DIFFERENT FACADE COMPOSITION



RHYTHM 3



RHYTHM 4
COUPLED HOUSES

HOUSE FACADES

OBJECTIVE

THROUGH CAREFULL, WELL CONSIDERED CONTEMPORARY DESIGN, HOUSE FACADES WILL SUPPORT THE LARGER SCALE OBJECTIVE OF DELIVERING CLEARLY IDENTIFIABLE AND COHESIVE STREETSCAPES, WITH THE ABILITY FOR OWNERS TO TAYLOR ASPECTS OF THE FACADE TO SUITE THEIR PERSONAL TASTE.

BUILT FORM

ROOF FORMS

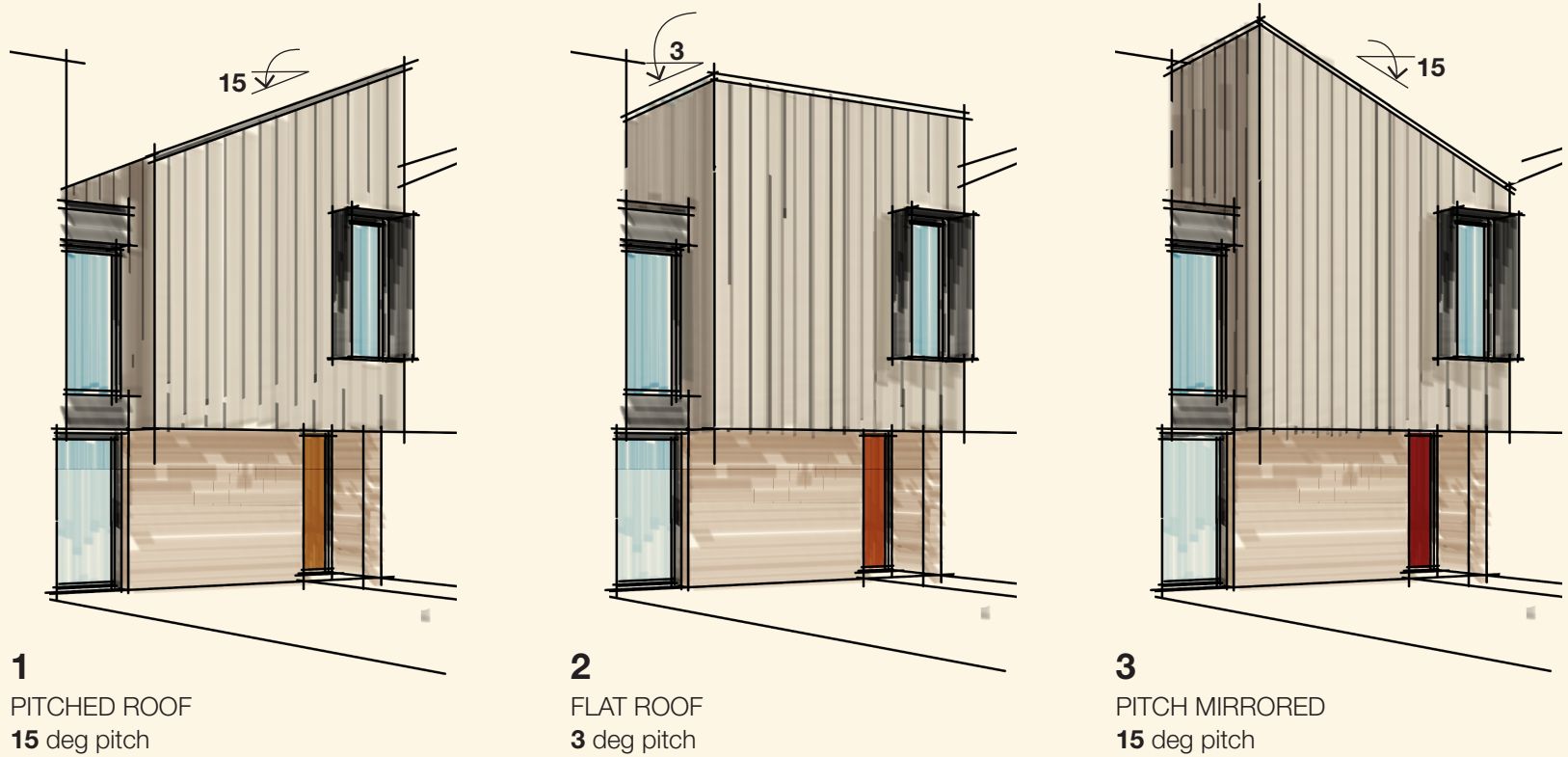
1. SKILLION ROOF- **15** deg minimum pitch
 2. PARAPET ROOF- **3** deg maximum pitch
- NO EAVES
 - NO EXPOSED GUTTERS TO THE FRONT OF THE PROPERTY WHEREVER POSSIBLE.
 - ALL ROOVES ARE TO DRAIN TO THE REAR OF THE SITE- WHEREVER POSSIBLE.

FACADE TYPES

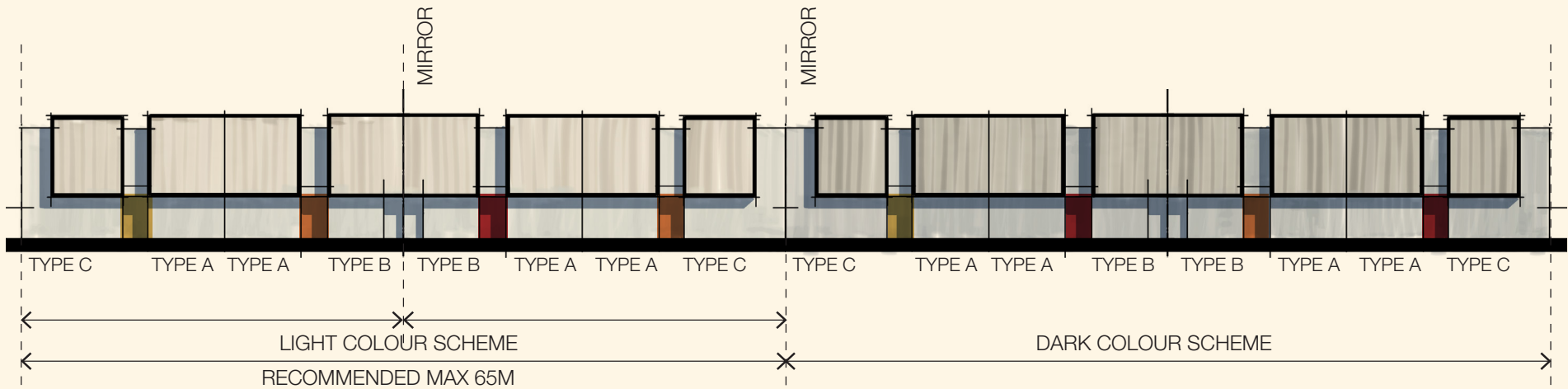
- WHEREVER POSSIBLE, AT LEAST 2 FACADE ITERATIONS FOR EACH HOUSE PLAN IS ENCOURAGED. THIS COULD BE ACHIEVED THROUGH ALTERNATIVE ROOF DESIGNS AND FEATURE FRONT

FRONT DOORS

- THE FRONT DOOR FINISH MUST PROVIDE ADEQUATE VARIATION FROM THE ADJACENT HOUSE TO PROVIDE VISUAL INTEREST AND CLEARLY IDENTIFY THE FRONT ENTRY OF EACH DWELLING.
- WHERE POSSIBLE, FRONT DOORS ARE TO BE POSITIONED PROUD OF THE LINE OF THE GARAGE DOOR FOR FRONT LOADED HOUSE TYPES.
- CONSIDERATION MUST BE GIVEN TO PROVIDING WEATHER PROTECTION OVER THE FRONT DOOR. EITHER BY WAY OF A CANOPY OR UPPER STOREY OVERHANG BY A MINIMUM OF 1M.



FACADE TYPES
Example Facade Types using the same floor plan



REPITITION BY USE OF COLOUR SCHEME

HOUSE FACADES

OBJECTIVE

THROUGH CAREFULLY, WELL CONSIDERED CONTEMPORARY DESIGN, HOUSE FACADES WILL SUPPORT THE LARGER SCALE OBJECTIVE OF DELIVERING CLEARLY IDENTIFIABLE AND COHESIVE STREETSCAPES, WITH THE ABILITY FOR OWNERS TO TAYLOR ASPECTS OF THE FACADE TO SUITE THEIR PERSONAL TASTE.

BALCONIES

- MUST SIT HARMONIOUSLY WITHIN THE PRIMARY VOLUMETRIC ELEMENTS OF THE FACADE AS A FULLY INTEGRATED ELEMENT AND NOT APPEAR AS AN ADD ON OR AFTER THOUGHT.
- **BALCONIES FACING THE STREET** - 50% OF BALUSTRADE MUST HAVE NO GREATER THAN 20% TRANSPARENCY TO PROVIDE SCREENING TO SERVICES, CLOTHELINES, BBQ'S ETC.

WINDOWS

- MUST BE CONSIDERED AS COMPOSITIONAL ELEMENTS WITHIN THE FACADE. MINOR RELOCATIONS OF WINDOWS IS ENCOURAGED FOR DIFFERENT FACADE TYPES OF THE SAME PLAN.

CLADDING

- CLADDING JOINTS AND CONTROL JOINTS MUST ALIGN AS BEST AS POSSIBLE WITH THE OVERALL ELEVATIONAL COMPOSITION.

GARAGES

DOORS

- THE CLADDING MATERIAL AND COLOUR MUST POSITIVELY CONTRIBUTE TO THE CONTEMPORARY URBAN AESTHETIC.
- ROLLER DOORS ARE NOT PERMITTED.

DRIVEWAYS & PATHS

- ENSURE THE INTERNAL DRIVEWAY AND PATHS TO THE FRONT DOOR ARE EXPOSED AGG
- DIRECT, SEPARATE ACCESS FROM PEDESTRIAN FOOTPATH TO FRONT DOOR OF STREET-FRONT DWELLINGS PREFERRED

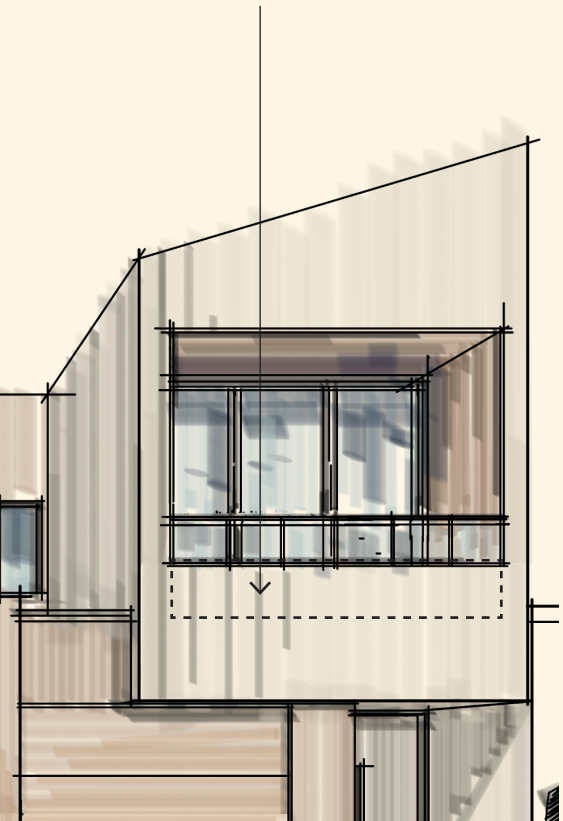
BALUSTRADE OPTION 1
50% HANDRAIL MAX 20% TRANSPARENT



- INTEGRATED BALUSTRADE
- DIRECT PATH TO FRONT DOOR

FRONT LOADED EXAMPLE

BALUSTRADE OPTION 2
50% HANDRAIL MAX 20% TRANSPARENT



LETTER BOX- ALIGNED TO
FOOTPATH AND PRIVATE ACCESS
PATH.

CORNER LOT TREATMENTS

OBJECTIVE

TO PROMOTE DESIGN EXCELLENCE FOR CORNER LOTS, MAKING THE MOST OF BOTH FRONTAGES AND ENHANCING THE PRESENTATION AND SAFETY OF THE PUBLIC REALM

APPLICATION

1. COMPLY WITH THE RELEVANT PLANNING SCHEME REQUIREMENTS
2. PRIMARY STREET MATERIALS ARE TO EXTEND AROUND TO THE SECONDARY FRONTAGE AND TERMINATE ON AN INTERNAL CORNER.
3. DWELLINGS ON CORNER LOTS ARE TO PRESENT ELEVATIONS OF CONSISTENT LEVEL OF DESIGN QUALITY AND FINISHES TO BOTH FRONTAGES.
4. AVOID TWO STOREY BLANK WALLS TO MINIMISE VISUAL BULK ON THE SECONDARY FACADE.
5. A MAJOR OPENING PER HABITABLE ROOM IS REQUIRED TO ADDRESS THE SECONDARY FRONTAGE, FOR BOTH GROUND AND UPPER LEVELS.
6. AT GROUND LEVEL, SIDE FENCING IS TO BE SETBACK A MINIMUM OF 1M FROM THE GROUND LEVEL FRONT FACADE.



CORNER LOT EXAMPLE

- Materials wrap the corner volume
- Windows to habitable rooms

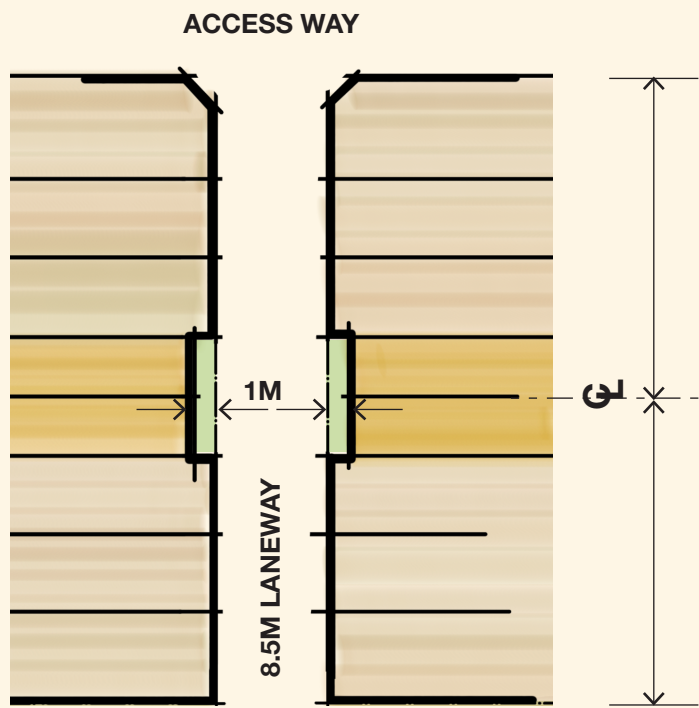
REAR LANE

OBJECTIVE

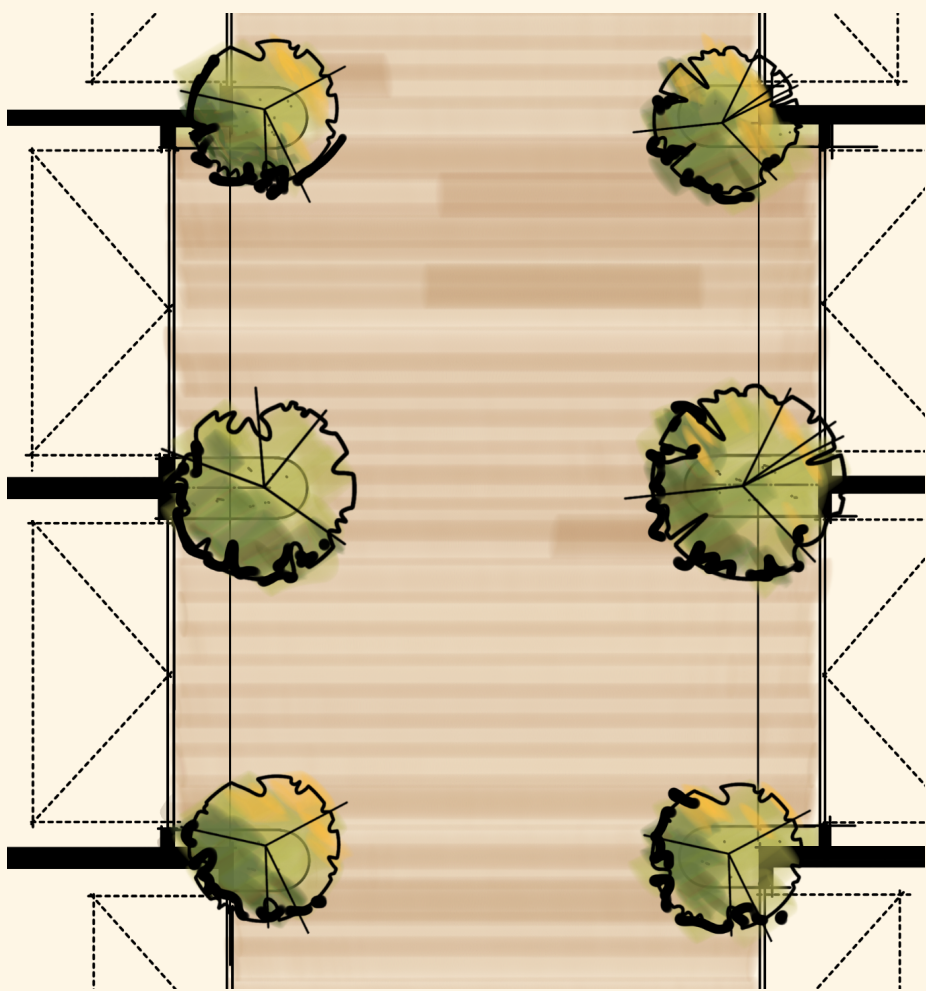
TO ENSURE LANEWAYS ARE PASSIVELY ACTIVATED, CONVEY A SENSE OF SECURITY AND SAFETY AND MAINTAIN UNOBSTRUCTED ACCESS FOR CARS AND WASTE COLLECTION VEHICLES.

REQUIREMENTS

- 1. THE CENTRAL LOTS LOCATED MIDWAY WITHIN A LANEWAY ARE ENCOURAGED TO HAVE BOTH GARAGES SETBACK A MIN OF 1M TO ALLOW FOR SUITABLE LOW MAINTENANCE PLANTING .
- 2. WHERE ADEQUATE AREA IS AVAILABLE BETWEEN ADJACENT GARAGE DOORS, THE PLANTING OF LOW MAINTENANCE SUITABLE PLANTING IS ENCOURAGED.
- 3. BINS ARE NOT TO BE STORED IN THE REAR LANEWAY. A MINIMUM CLEARANCE AREA MUST BE PROVIDED FOR THE PLACEMENT OF BINS ON COLLECTION DAYS.
- 4. CONSIDER APPLYING VARIATION TO THE GARAGE DOOR COLOUR AND/OR FINISH, AND THE GARAGE PARAPET HEIGHT TO DELIVER VISUAL INTEREST. CONSIDERATION MUST BE GIVEN TO OVERALL COMPOSITION.



LANEWAY SETBACK STRATEGY



LANEWAY SETBACK PLANTING OPPORTUNITY



LANEWAY -
GARAGE VARIATION EXAMPLE

FENCES & LETTERBOXES

FRONT FENCE

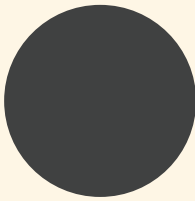
WHERE REQUIRED

- BLADE OR BATTEN FENCE.
- PAINTED TIMBER BATTENS
- POWDER COATED METAL BLADES OR ALUMINIUM BATTENS
- 1200 HEIGHT MAX.
- 20% VISUAL PERMEABILITY
- FRONT GATES FOR EACH HOUSING TYPOLOGY TO BE CONSIDERED



DARK SCHEME

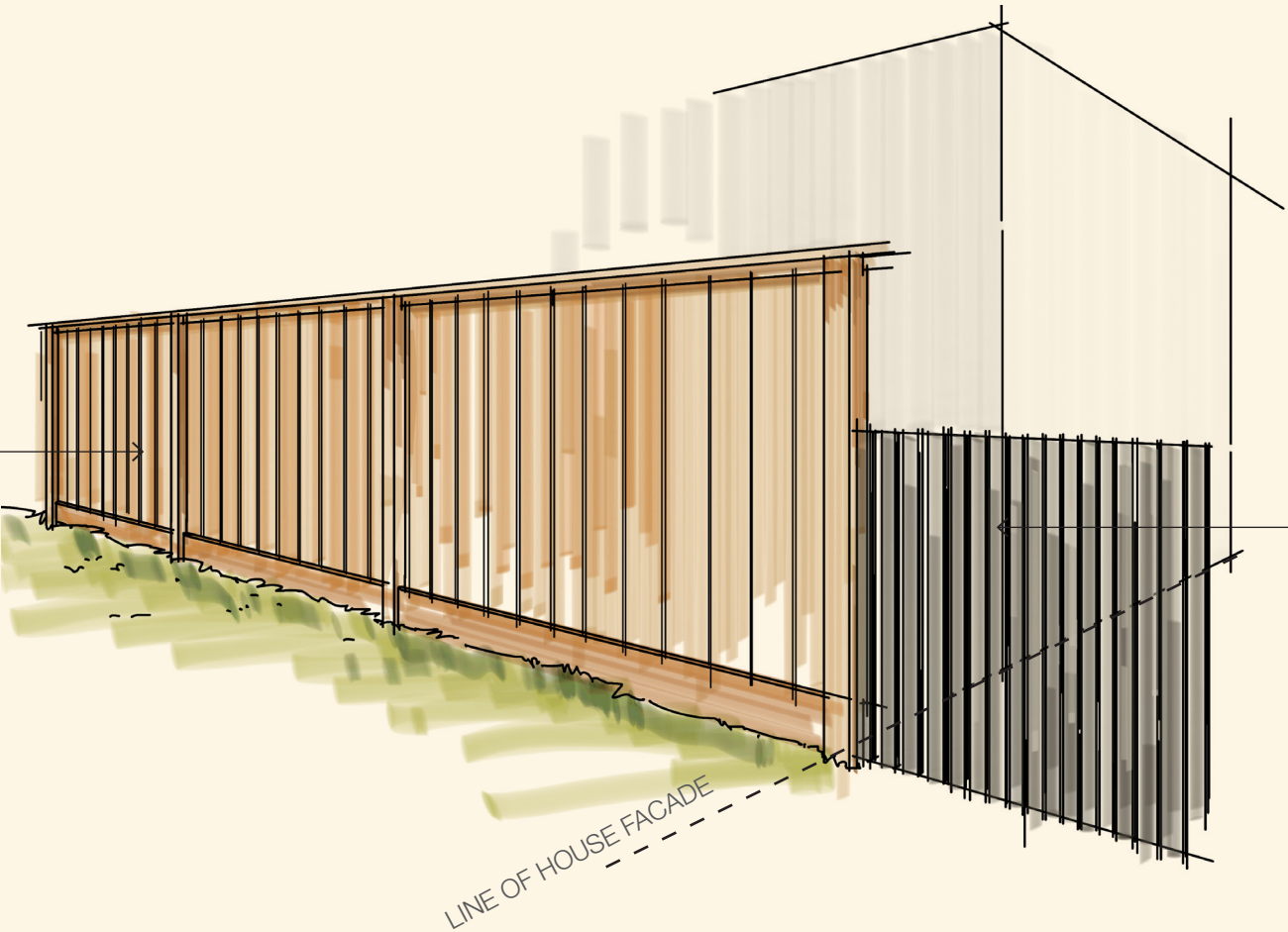
COLOURS



DULUX MONUMENT

ALL SIDE AND REAR FENCES

- ALL SIDE AND REAR FENCES TO BE CONSTRUCTED OF TIMBER PALINGS WITH EXPOSED POSTS AND CAPPED ACROSS THE TOP TO A MAXIMUM HEIGHT OF 2.0 METRES, INCLUDING THE CAPPING.
- FENCES SHOULD BE CONSTRUCTED PRIOR TO MOVING INTO YOUR HOME.



HOUSE FACADE- INDICATIVE ONLY

LETTERBOXES

- MINIMAL METAL FACE DESIGN
- BLACK, SILVER, TIMBER LOOK INLAY
- 1000mm x 220mm x 300mm
- OR SIMILAR APPROVED PRODUCT



SIDE FENCE- FORWARD OF BUILDING LINE

- BLADE OR BATTEN FENCE.
- PAINTED TIMBER BATTENS
- POWDER COATED METAL BLADES OR ALUMINIUM BATTENS
- 1200 HEIGHT MAX.
- 20% VISUAL PERMEABILITY
- NO EXPOSED CAPPING
- ANY FENCE FORWARD OF THE BUILDING LINE SHOULD MATCH THE FRONT FENCE.

SHEDS, SERVICES AND OUTDOOR STRUCTURES

OBJECTIVE

TO INTEGRATE BUILDING SERVICES IN A WAY THAT DOES NOT VISUALLY DETRACT FROM THE PUBLIC REALM.

EXTERNAL FIXTURES MUST ADHERE TO THE FOLLOWING PRINCIPLES AND THE LOCATION MUST BE NOTED ON PLANS TO BE SUBMITTED TO THE DAP. CLOTHES LINES, GARDEN SHEDS, RAIN WATER TANKS, EXTERNAL HOT WATER SERVICES AND DUCTED HEATING UNITS OR SIMILAR MUST NOT BE VISIBLE FROM THE STREET.

SOLAR WATER HEATERS

ARE PERMITTED AND, WHERE POSSIBLE, ARE TO BE LOCATED OUT OF VIEW FROM THE FRONT BOUNDARY AND THE STREET ABUTTING IT. THE SOLAR PANELS SHALL BE LOCATED ON THE ROOF, NOT ON A SEPARATE FRAME, AND THE STORAGE TANKS DETACHED AND LOCATED OUT OF VIEW FROM THE STREET FRONTAGE.

AIR CONDITIONING UNITS, BOTH REFRIGERATED AND EVAPORATIVE, MUST BE POSITIONED SOTHAT THEY ARE NOT VISIBLE FROM THE FRONT BOUNDARY AND THE STREET ABUTTING IT. THEYMUST BE PAINTED TO MATCH THE COLOUR OF THE ROOF, BE LOW PROFILE UNITS AND INSTALLED AS LOW AS POSSIBLE BELOW THE ROOF RIDGELINE TOWARDS THE REAR OF THE HOUSE.

WALL MOUNTED AIR CONDITIONERS MUST BE LOCATED BELOW THE EAVES LINE, SCREENED SO THEY ARE NOT VISIBLE FROM THE FRO NT BOUNDARY AND THE STREET ABUTTING IT, THENSUITABLY BAFFLED TO REDUCE NOISE.

SATELLITE DISHES

WILL ONLY BE APPROVED IF LOCATED BELOW THE ROOFLINE OF THE HOUSE, THEN SCREENED FROM VIEW FROM THE FRONT BOUNDARY AND THE STREET ABUTTING IT.

RAINWATER TANKS

MUST NOT BE VISIBLE FROM THE FRONT BOUNDARY AND THE STREET ABUTTING IT.

EXTERNAL PLUMBING

EXCLUDING STORMWATER DRAINAGE ,DOWNPIPES MUST NOT BE VISIBLE FROM ABUTTING STREETS OR ANY PARKLAND ADJACENT TO THE FRONT OF THE LOT.

ADVERTISING SIGNAGE

IS NOT PERMITTED ON ANY RESIDENTIAL LOT EXCEPT WHEN THE LOT IS BE- ING SOLD AFTER THE COMPLETION OF A DWELLING.

HOUSE NUMBERING

FONT TYPE, SIZE AND POSITION NEED TO BE CONSIDERED WITH REGARD TO FACADE COMPOSITION AND VISIBILITY AND STREET VISIBILTY.

OTHER EXTERNAL ELEMANTS FRONTING THE HOME

ITEMS SUCH AS ALARM SENSORS, INTERCOMS, NEED TO BE CONSIDERATE OF THE POSITIONING AND OVERALL COLOR PALETTE

SOLAR PANELS

NO TILT PANELS, UNLESS APPROVED BY DEVELOPER
REDUCE VIEW FROM THE PUBLIC DOMAIN AS MUCH AS POSSIBLE

BIN STORAGE

BIN STORE AREAS NOT VISIBLE FROM PUBLIC VIEW. THEY ARE TO BE LOCAT- ED BEHIND FENCING, WITHIN THE SIDE SETBACK OR BEHIND/ WITHIN THE GARAGE. SEE REAR LANE SECTION.

METERS

METER BOXES ON RENDERED WALLS TO BE PAINTED SAME COLOR AS THE WALL. GAS AND WATER METERS TO BE APPROPRIATELY SCREENED BY LANDSCAPING AND LOCATED AWAY FROM PATHS WHERE POSSIBLE.

ANCILLARY ITEMS

SHEDS, CLOTHESLINES ETC TO BE POSITIONED SO THEY ARE NOT VISIBLE FROM THE STREET

PLANT PALLETE

The following list of plant and tree species have been selected as appropriate for purpose and well suited to Wyndham conditions. Any additional species used should compliment the species listed below.

Planting

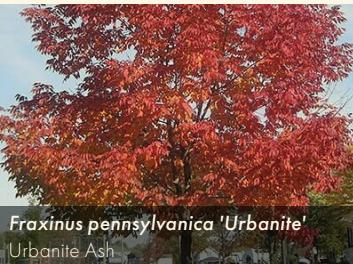
Botanic Name	Common Name	Native/Exotic	(H x W)
Acacia acinacea	Gold Dust Wattle	Native	2 x 1.5m
Acacia cognata 'limelight	River Wattle	Native	1 x 1m
Atriplex nummularia	Old Man Saltbush	Native	2 x 3m
Banksia spinulosa 'Birthday Candles'	Hairpin Banksia	Native	0.5 x 1m
Callistemon 'Little John'	Bottlebrush	Native	1 x 1m
Carex appressa	Tall Sedge	Native	1 x 1m
Chrysocephalum semipapposum	Clustered Everlasting	Native	1 x 1m
Correa glabra 'Ivory Lantern'	Rock Correa	Native	0.5 x 0.5m
Correa reflexa 'Dusky Bells'	Dusky Bells	Native	1 x 3m
Crowea exalata 'Low Dome'	Waxflower	Native	0.3 x 0.5m
Dianella caerulea 'Little Jess'	Paroo Lily	Native	0.4 x 0.4m
Dianella longifolia	Flax Lily	Native	0.5 x 0.5m
Dianella revoluta	Blue Flax-lily	Native	1 x 1m
Doryathes excelsa	Gymea Lilly	Native	3 x 2m
Eremophila glabra 'Grey Horizon'	Grey Emu Bush	Native	0.3 x 1m
Felicia angostifolia	Blue Marguerite	Exotic	0.8 x 0.8m
Goodenia ovata 'Gold Cover'	Gold Cover	Native	0.3 x 1.5m
Grevillea juniperina 'Gold Cluster'	Gold Cluster Grevillea	Native	0.3 x 0.8m
Lavandula dentata	French Lavender	Exotic	1 x 1.2m
Leptospermum petersonii 'Little Lemon Scents'	Tea Tree	Native	1.5 x 1.5m
Leucadendron	Yellow and red species	Exotic	1.5 x 1.5m
Lomandra longifolia 'Katrinus Deluxe'	Flax Lily	Native	0.8 x 1m
Lomandra longifolia 'Tanika'	Mat Rush	Exotic	0.6 x 0.6m
Myoporum parvifolium	Creeping Boobialla	Native	0.2 x 1m
Pennisetum alopecuroides 'Nafray'	Swamp Foxtail Grass	Native	0.6 x 0.6m
Poa poiformis 'Kingsdale'	Tussock Grass Kingsdale	Native	0.5 x 0.5m
Rhaphiolepis 'Snow Maiden'	Indian Hawthorn	Exotic	0.75 x 0.5m
Rosmarinus officianalis (Prostrate)	Ground Cover Rosemary	Exotic	0.5 x 2m
Syzygium australe 'Bush Christmas'	Lilly Pilly	Native	4 x 2m
Westringia fruticosa 'Low Horizon'	Coastal Rosemary	Native	1.5 x 1.5m



TREE PALLETE

Trees

Botanic Name	Common Name	Native/Exotic	(H x W)
Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	Exotic	12 x 8m
Brachychiton populensus x acerifolius	Hybrid Brachychiton	Native	8 x 7m
Brachychiton populneus x discolour	Griffith Pink	Native	6 x 2m
Callistemon viminalis	Weeping Bottlebrush	Native	8 x 4m
Corymbia citriodora 'Scentuous'	Dwarf Lemon Scented Gum	Native	7 x 3m
Cupaniopsis anacardioides	Tuckeroo	Native	6 x 6m
Eucalyptus caesia 'Silver Princess'	Gum Tree	Native	6 x 3m
Eucalyptus leucoxylon 'Euky Dwarf'	Euky Dwarf	Native	10 x 4m
Fraxinus angustifolia 'Raywood'	Claret Ash	Exotic	10 x 8m
Fraxinus pennsylvanica 'Urbanite'	Urbanite Ash	Exotic	12 x 6m
Ginkgo biloba 'Princeton Sentry'	Maidenhair Tree	Exotic	10 x 4m
Hakea laurina	Pin-cushion Hakea	Native	6 x 5m
Lagerstroemia indica x fauriei 'Natchez'	Crepe Myrtle (White)	Native	5-6 x 4m
Magnolia grandiflora 'Little Gem'	Dwarf Magnolia	Exotic	4 x 2.5m
Pyrus calleryana 'Capital'	Ornamental Pear	Exotic	10 x 1.5m
Tristaniopsis laurina	Water Gum	Native	8 x 4m
Waterhousea floribunda 'Green Avenue'	Weeping Lilly Pilly	Native	12 x 6m



Design Requirements

Front Gardens:

1. Front gardens should be planted with a minimum of one tree per standard residential lot frontage combined with understory planting. The tree should have a minimum mature height of 4m and be planted as a 45 Litre pot size or greater. The tree species selected to be a suitable/similar mature canopy width to match the dimension of the front set back. E.g a suitable tree for a 1.5m setback may be Pyrus calleryana 'capital' which has a mature width of 1.5m.
2. Front garden designs should be completed to minimise hardscape paving where possible and maximise garden bed areas. Hard paving should be generally limited to driveways and pedestrian access paths.
3. Impermeable surfaces such as concrete or hard paving should be limited to driveways and front paths only.
4. Permeable surface treatments such as pebbles, stepping pavers in gravel bed and crushed rock are strongly encouraged.
5. At least 30% of the front yard in total should consist of planted garden bed.
6. There must be a minimum 500mm width of garden bed to side boundaries, 800mm width for side boundaries of corner lots is encouraged if dimensions permit.
7. Double driveway entries must have a minimum 500mm width of garden bed between driveways and side boundaries. For single driveway entries a 750mm width garden bed between driveways and side boundaries is required.
8. The front boundary to the street, a minimum 500mm width of garden bed is to be installed to at least 50% of the total lot frontage.
9. Selected hard surface materials should compliment the building materials.

Garden Beds & Grassing:

1. Garden Beds - A minimum 250mm depth of suitable imported nursery topsoil (appropriate for garden bed us, such as 10% organics and a neutral PH level) is to be installed to all garden bed areas on top of cultivated site soil.
2. Grassed Areas - A minimum 100mm depth of suitable imported nursery topsoil (appropriate for grassing, such as 10% organics and a neutral PH level) is to be installed to all grassed areas on top of cultivated site soil.
3. Drainage – Garden beds and Grassed areas are to be free draining with agricultural drains installed where appropriate to ensure free draining sites.
4. Garden bed areas are to include an 80mm depth of mulch to retain moisture within the soil and suppress weed growth. Garden beds must be mulched with one of the following types of mulch:
 - Pine bark, brown or black colour
 - Recycled hardwood mulch with a maximum chip size of 50mm
 - Gravel screenings (containing no fines) grey or brown in colour
 - Decorative stone pebbles in natural colours of grey to brown

Brightly coloured/dyed wood mulches and pebbles (such as red and white) will not be approved.
5. Garden beds must be flush edged to present neatly using one of the following types of edging:
 - Timber: ACQ treated pine 25mm width or hardwood 10mm width
 - Steel edging 75-100mm depth x 3-5mm width
 - Concrete/stone paved edging 100-150mm width.

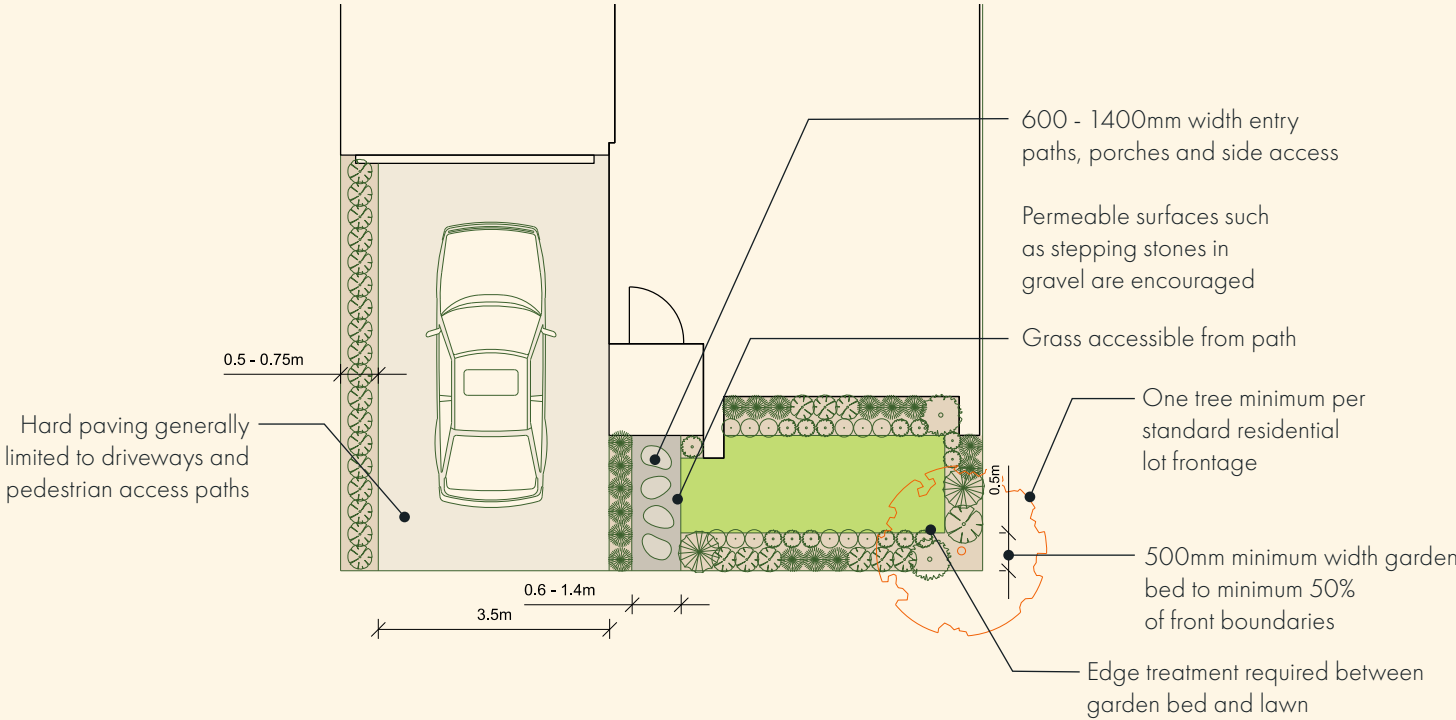
Driveways, Paths & Paving:

1. Entry paths, porches and side access paths are to be constructed from one or a combination of the following types of material and be between 600mm and 1400mm in width:
 - Natural stone or concrete unit paving (coloured or exposed aggregate)
 - Exposed aggregate cast-insitu concrete paving
 - Coloured concrete paving
 - Natural crushed stone aggregate or self-binding gravel (grey or brown in colour)
 - Natural decorative pebbles in natural colours of grey to brown
2. Driveways are to be constructed from one or a combination of the following types of materials:
 - Natural stone paving
 - Exposed aggregate cast-insitu concrete paving
 - Coloured concrete paving

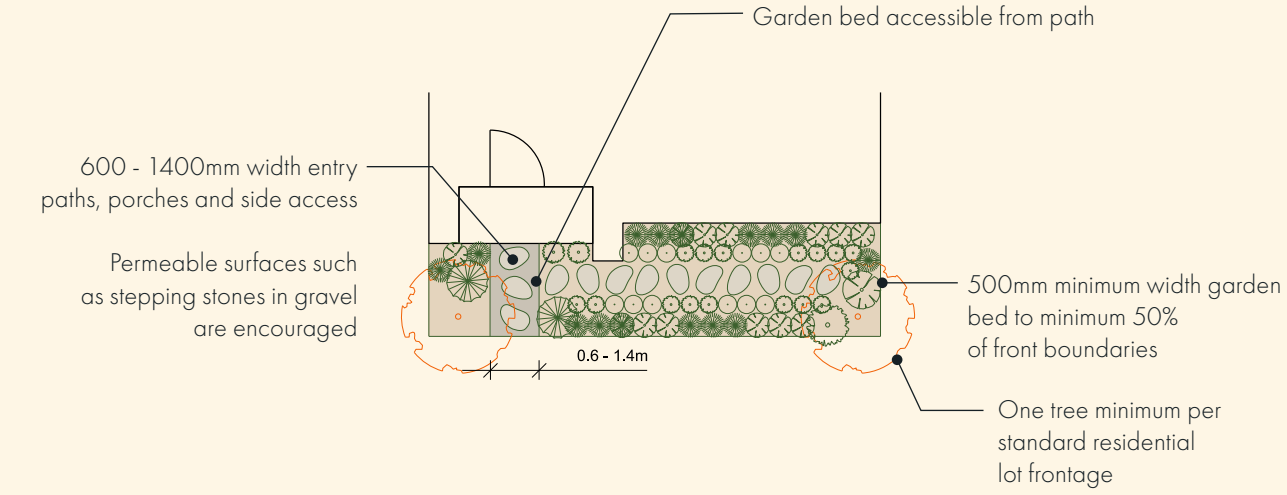
Note: All hard surfaces should be selected to compliment the building materials and should be of a generally natural colour palette. Where using exposed aggregate concrete or coloured concrete as pathway treatment, the driveways and pathway materials must match.

FRONT GARDENS

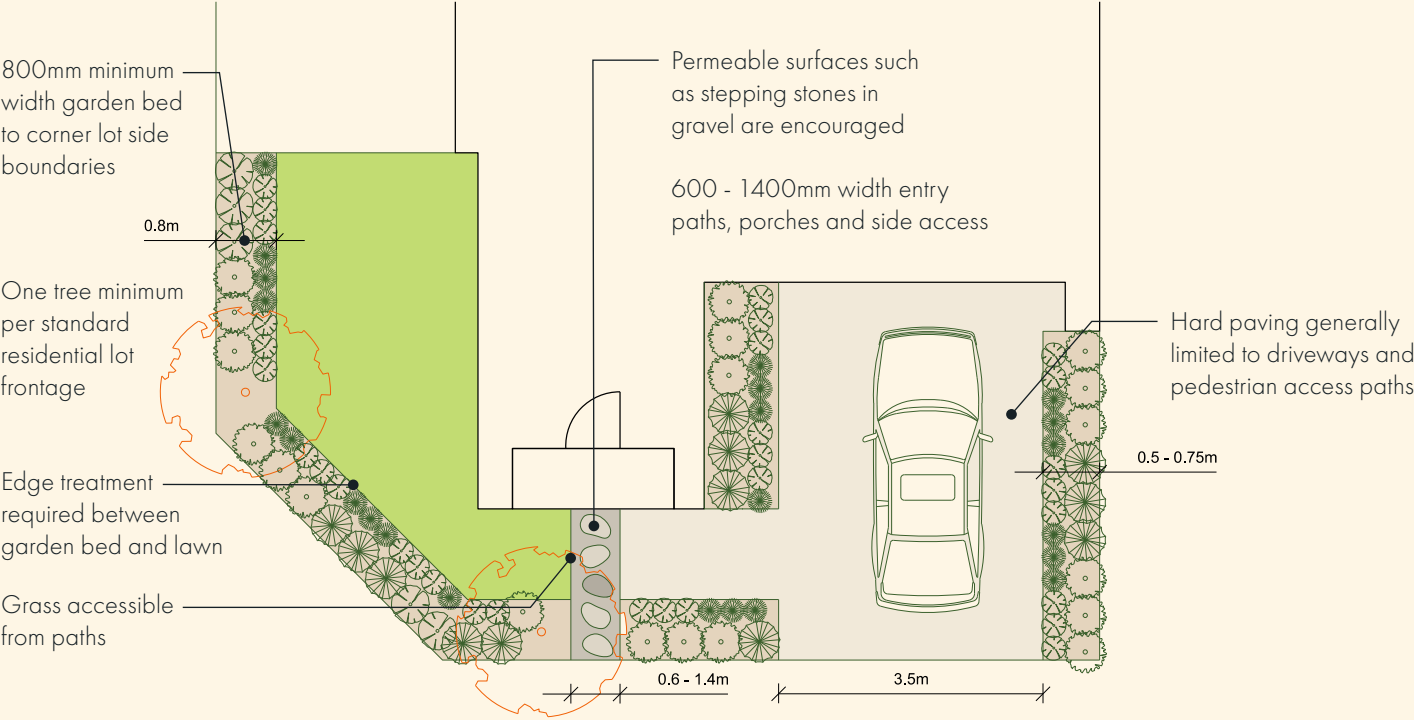
Front Loaded Garden Design Example



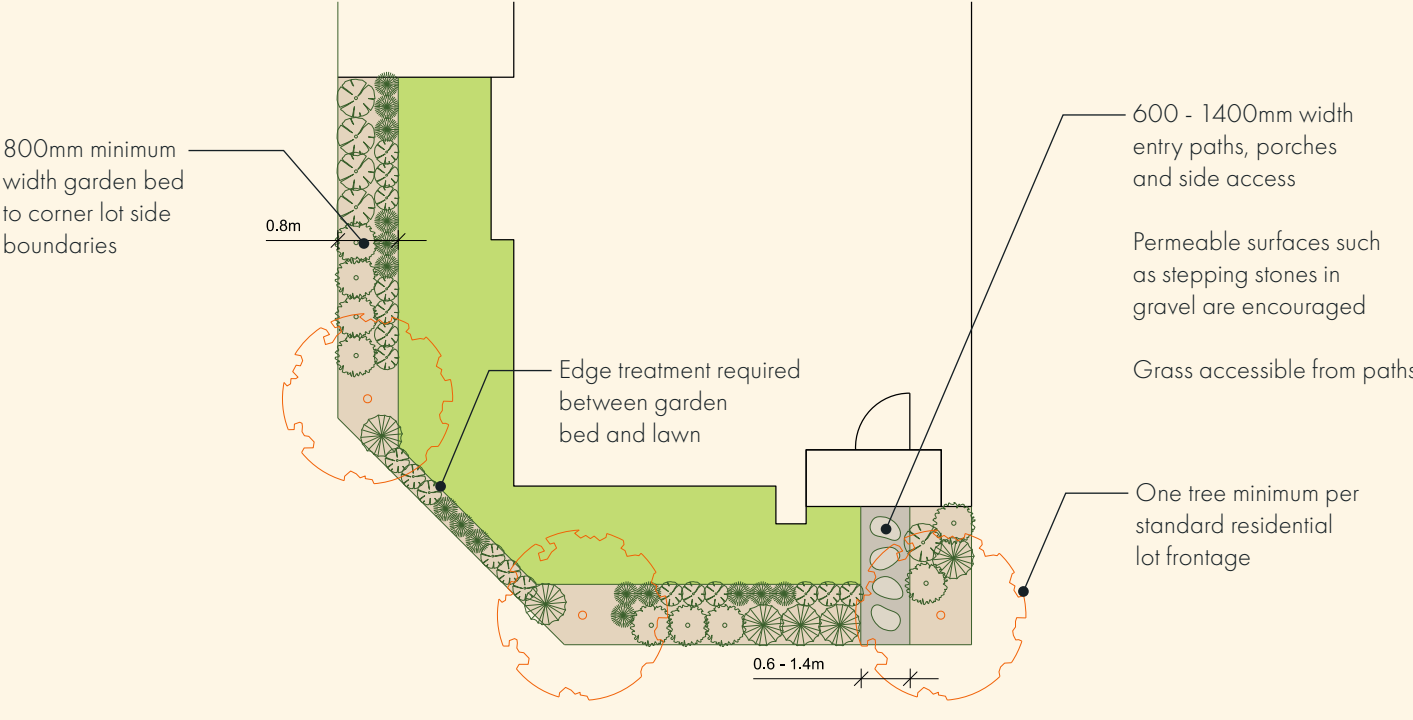
Rear Loaded Garden Design Example



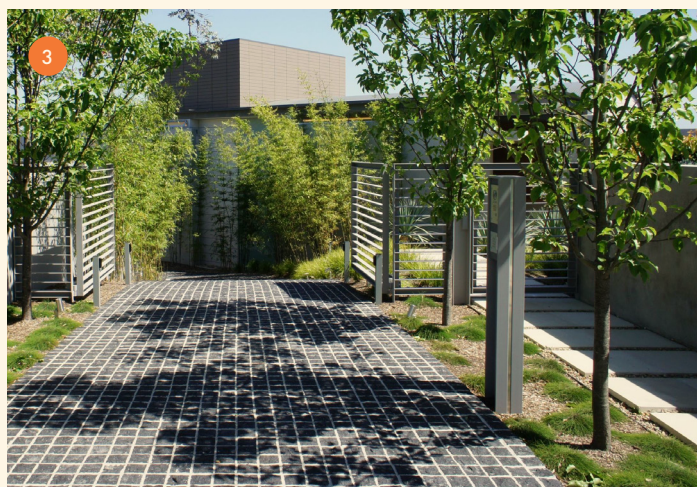
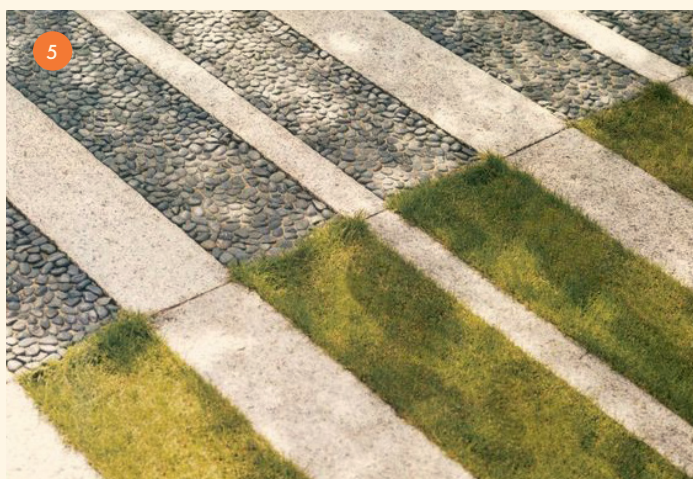
Front Loaded Corner Lot Garden Design Example



Rear Loaded Corner Lot Garden Design Example



REFERENCE IMAGERY



1 Tree planting integrated into fence design

4 Passive timber fencing

7 Fencing set back from garden beds

10 Use of pier letterbox as boundary device

2 Garden beds against built form

5 Use of banding to mix materials

8 Garden bed to act as boundary

11 Permeable surface/garden bed interface

3 Stone unit paving

6 Stepping stone pavers

9 Limited use of fencing

12 Native, contemporary planting palette