

21 December 2021  
5800

Mr Kristopher Nelson  
Probuild  
85 McLachlan Avenue  
Rushcutters Bay NSW 2011

Dear Mr Nelson,

Re: **Design Verification Certificate  
CC3B Application – Determination No. SSD 8903 MOD2  
at Building C1, Ivanhoe Estate, Macquarie Park, NSW ("the Project")**

We write with reference to your request for a Design Verification Statement for the Project as required in accordance with conditions of SSD 8903 MOD2. For the purposes of this Design Verification statement, we note that a Development Consent for the project was issued by the Department of Planning on the 30 April 2020, with the most recent amended consent as at 7 May 2021.

This verification letter denotes that the architectural documentation for Construction Certificate 3B (refer attached schedule) is consistent with the approved Development Consent drawings and conditions of the Notice of Determination SSD 8903 MOD2, with the following exceptions;

- Basement public carpark access lift is excluded from this CC and will be the subject of a future CC.
- Minor amendments to position of carparks, storage cages, walls and waste rooms throughout the basement, as well as minor amendments to apartment layouts, to suit structural and services co-ordination and client brief.
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Further to the above we confirm that the number of car parking spaces denoted in condition B78 of the consent have been provided for in the design (a maximum of 308 residential car parking spaces, 17 residential visitor spaces, 20 community facility parking spaces and a minimum of 30 car share spaces).

Please contact the undersigned without hesitation should you require further consideration relating to this matter.

Yours faithfully,  
CANDALEPAS ASSOCIATES



Jason Williams  
Principal

Encl: drawing schedule

309 SUSSEX STREET  
SYDNEY NSW 2000

Director:  
Angelo Candalepas

Principals:  
Evan Pearson  
Adrian Curtin  
Jason Williams  
Peter Kouvelas

Senior Associates:  
Jeremy Loblay  
Martin Christensen

Associates:  
Kingsley May  
Marty Bowen  
John Evans

Angelo Candalepas and  
Associates Pty Limited  
ABN 45 070 219 288

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+61 2 9283 7755

Nominated Architect:  
Angelo Candalepas  
Registration No NSW 5773  
Registration No VIC 17978  
Registration No WA 2405  
Registration No ACT 2603  
Registration No QLD 5463

DRAWING SCHEDULE

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A 1003.1 [P14] BASEMENT 1 GA PLAN WEST  
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A 2303 [A] BASEMENT 1 CONCRETE SETOUT  
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A-612-203 [C] B1 EAST PRECAST SETOUT – SHEET 3  
A-612-204 [C] B1 EAST PRECAST SETOUT – SHEET 4

# Design Compliance Declaration— multiple regulated designs

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## Instructions for completing this form

You must complete all Parts of this form.

This form is for multiple regulated designs, and the details must be given in Part 2 of this form in relation to each regulated design to which this form applies.

Where this form requires you to summarise information on which you intend to rely to support your answer, you must describe that information in sufficient detail for the Secretary to fully understand the basis of your answer.

Where this form indicates that material must be attached to the form, you must number each attachment sequentially and identify the number of that attachment in the relevant answer.

The drawing title, number and variation should correspond with the detail in the title block for the design to which this declaration relates.

---

## Part 1. Details

For registered body corporates, give full names of the registered individuals and the corporation on behalf of which the declaration is made.

Design Practitioner name

Body corporate name (if applicable)

Registration number of Design Practitioner signing

Registration number of body corporate (if applicable)

ABN/ACN

Phone

Email address

**Drawing title**

**Drawing number**

**Variation number**

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## Part 2. Declaration matters

I, \_\_\_\_\_, \_\_\_\_\_,  
Name

Title \_\_\_\_\_ acting on behalf of Corporation Name (if relevant)

have prepared the attached regulated designs.

I declare:

1. Each regulated design for which this design compliance declaration is being made complies with the requirements of the *Building Code of Australia*.

Yes No

2. Each regulated design for which this design compliance declaration is being made integrates details of other aspects of building work to which the design relates, and other regulated designs for the work, in order to achieve compliance with the *Building Code of Australia*.

Yes No

If yes, provide details or attach information about the other regulated designs that have been integrated into the regulated design for which this design compliance declaration is being made.

3. Other standards, codes or requirements have been applied in preparing one or more of the regulated designs.

Yes No

If yes, provide details or attach information about the standards, codes or requirements that have been applied.

4. A building product referred to in each regulated design would, if used in a manner consistent with the design, achieve compliance with the *Building Code of Australia*.

Yes No

If yes, describe or attach information about how the building product would achieve compliance with the *Building Code of Australia*, including the relevant provisions of the *Building Code of Australia*.

5. I have sought and considered specialist advice in preparing each regulated design.

Yes                      No

If yes, provide the name and contact details of the person who provided you with the specialist advice.

6. The regulated designs involve a performance solution.

Yes                      No

If yes, provide details of the performance solution and the name and contact details of the person who prepared the performance solution report if this declaration is not for the report.

7. Each regulated design accords with the *Regulated Design Guidance Material* relevant to the design.

Yes                      No

### Part 3. Signature

Signature

Title

Date

This form relates to obligations under the *Design and Building Practitioners Act 2020* and supporting Regulation. For more information visit the NSW Fair Trading website:

[www.fairtrading.nsw.gov.au/housing-and-property/changes-to-class-2-buildings](http://www.fairtrading.nsw.gov.au/housing-and-property/changes-to-class-2-buildings)

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Our Ref: SY210-098  
Enquiries to: AA



23 December 2021

Probuild  
85 McLachlan Ave  
RUSHCUTTERS BAY, NSW 2011

**Attention: Mr Jonathon Tuer**

**RE: IVANHOE C1  
STRUCTURAL DESIGN CERTIFICATE – CC3B**

This is to confirm that our company has carried out structural design of the above project, as documented on the following drawings prepared by us:

- Refer to attached transmittal

We certify that the structural design, as documented on the above-mentioned drawings, is in accordance with accepted engineering practice and is in accordance with the relevant provisions of the following:

- The Building Code of Australia (Volume One) 2019- Amendment one.
- Relevant Australian Standards:
  - AS1170.0-2002
  - AS1170.1-2002
  - AS1170.2-2011
  - AS1170.4-2007
  - AS3600-2018

The structural design is carried out based on the Geotechnical Report No. 86043.01.R.001.Rev1.Greater prepared by Douglas Partners Pty Ltd dated 30 July 2018.

I am a Professional Engineer with appropriate experience and competence in this field.

Yours faithfully  
**van der Meer Consulting**

A handwritten signature in black ink, appearing to read 'Ashkan Afnani Esfandabadi'.

**Ashkan Afnani Esfandabadi**  
Associate- Structural  
BSc. MSc. PhD, CPEng, NER  
NER Registration No. 4199838  
Design Practitioner Registration No. DEP0001118

Encl: Transmittal

**BRISBANE**  
Level 8, 757 Ann Street  
Fortitude Valley QLD 4006  
P 07 3667 8861  
E QLD-enquiries@vandermeer.com.au  
ABN 63 609 812 615

**MELBOURNE**  
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Melbourne VIC 3000  
P 03 8614 5555  
E VIC-enquiries@vandermeer.com.au  
ABN 48 158 266 329

**SYDNEY**  
Level 3, 39 Chandos Street  
St Leonards NSW 2065  
P 02 9436 0433  
E NSW-enquiries@vandermeer.com.au  
ABN 56 158 266 301

PROJECT NAME:	MACQUARIE PARK - BLD C1 MIDTOWN ESTATE	DD	17	30	3	07	10	15	16	17	21	23	current	
			MM	11	11	12	12	12	12	12	12	12		12
PROJECT No:	SY210-098	YY	21	21	21	21	21	21	21	21	21	21		
			BY	NZ	NZ	NZ	NZ	NZ	NZ	NZ	NZ	NZ		NZ
Drawing No.:	Drawing Title:	DWG	Revision											
S01-00	COVER SHEET												1	
S01-01	STRUCTURAL NOTES - SHEET 1												2	
S01-02	STRUCTURAL NOTES - SHEET 2												1	
S01-51	TYPICAL DETAILS - SHEET 1												1	
S01-52	TYPICAL DETAILS - SHEET 2												1	
S02-01	FOOTING PLAN - WEST	Y											3	
S02-02	FOOTING PLAN - EAST	Y											4	
S02-51	FOOTING DETAILS - SHEET 1										2		2	
S02-52	FOOTING DETAILS - SHEET 2												5	
S03-01	BASEMENT 3 WEST - SLAB ON GROUND PLAN	Y				4							4	
S03-02	BASEMENT 3 EAST - SLAB ON GROUND PLAN	Y				5							5	
S03-51	BASEMENT 3 - SLAB ON GROUND DETAILS												2	
S04-01	BASEMENT 2 WEST - SLAB PLAN	Y						3					3	
S04-02	BASEMENT 2 EAST - SLAB PLAN	Y						2			3		3	
S04-11	BASEMENT 2 WEST - TIES REINFORCEMENT PLAN								3				3	
S04-12	BASEMENT 2 EAST - TIES REINFORCEMENT PLAN										3		3	
S04-21	BASEMENT 2 WEST - BOTTOM REINFORCEMENT PLAN								3		4		4	
S04-22	BASEMENT 2 EAST - BOTTOM REINFORCEMENT PLAN										3		3	
S04-31	BASEMENT 2 WEST - TOP REINFORCEMENT PLAN								3				3	
S04-32	BASEMENT 2 EAST - TOP REINFORCEMENT PLAN										3		3	
S04-41	BASEMENT 2 WEST - POST TENSIONING PLAN	Y							3				3	
S04-42	BASEMENT 2 EAST - POST TENSIONING PLAN	Y									3		3	
S04-80	ON SITE DETENTION TANK PLANS AND DETAILS							1					1	
S05-01	BASEMENT 1 WEST - SLAB PLAN	Y	E	1							2		2	
S05-02	BASEMENT 1 EAST - SLAB PLAN	Y	E	1							2		2	
S05-11	BASEMENT 1 - WEST TIES REINFORCEMENT PLAN			1									1	
S05-12	BASEMENT 1 - EAST TIES REINFORCEMENT PLAN			1									1	
S05-21	BASEMENT 1 - WEST BOTTOM REINFORCEMENT PLAN			1									1	
S05-22	BASEMENT 1 - EAST BOTTOM REINFORCEMENT PLAN			1									1	
S05-31	BASEMENT 1 - WEST TOP REINFORCEMENT PLAN			1									1	
S05-32	BASEMENT 1 - EAST TOP REINFORCEMENT PLAN			1									1	
S05-41	BASEMENT 1 - WEST POST TENSIONING PLAN	Y		1									1	
S05-42	BASEMENT 1 - EAST POST TENSIONING PLAN	Y		1									1	
S05-51	BASEMENT 1 SECTIONS - SHEET 1												A	
S05-52	BASEMENT 1 SECTIONS - SHEET 2												A	
S06-01	LOWER GROUND WEST - SLAB PLAN	Y					C				D		D	
S06-02	LOWER GROUND EAST - SLAB PLAN	Y					C				D		D	
S07-01	UPPER GROUND WEST - SLAB PLAN	Y									C		C	
S07-02	UPPER GROUND EAST - SLAB PLAN	Y									C		C	
REASON FOR ISSUE														
A - Approval	B - As Built	C - Construction	CC - Construction Certificate	P/C	C	C	C	C	C	C	C	C	C	X
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**BRISBANE**  
**CANBERRA**  
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Drawing No.:	Drawing Title:	DWG	Revision											
S08-01	LEVEL 1 WEST - SLAB PLAN	Y												
S08-02	LEVEL 1 EAST - SLAB PLAN	Y												
S09-01	LEVEL 2 WEST - SLAB PLAN	Y												
S09-02	LEVEL 2 EAST - SLAB PLAN	Y												
S10-01	LEVEL 3 WEST - SLAB PLAN	Y												
S10-02	LEVEL 3 EAST - SLAB PLAN	Y												
S11-01	LEVEL 4 WEST - SLAB PLAN	Y												
S11-02	LEVEL 4 EAST - SLAB PLAN	Y												
S12-01	LEVEL 5 WEST - SLAB PLAN	Y												
S12-02	LEVEL 5 EAST - SLAB PLAN	Y												
S13-01	LEVEL 6 WEST - SLAB PLAN	Y												
S13-02	LEVEL 6 EAST - SLAB PLAN	Y												
S14-01	LEVEL 7 WEST - SLAB PLAN	Y												
S14-02	LEVEL 7 EAST - SLAB PLAN	Y												
S15-01	LEVEL 8 WEST - SLAB PLAN	Y												
S15-02	LEVEL 8 EAST - SLAB PLAN	Y												
S16-01	LEVEL 9 WEST - SLAB PLAN	Y												
S16-02	LEVEL 9 EAST - SLAB PLAN	Y												
S17-01	LEVEL 10 WEST - SLAB PLAN	Y												
S17-02	LEVEL 10 EAST - SLAB PLAN	Y												
S18-01	LEVEL 11 WEST - SLAB PLAN	Y												
S18-02	LEVEL 11 EAST - SLAB PLAN	Y												
S19-01	LEVEL 12 WEST - SLAB PLAN	Y												
S19-02	LEVEL 12 EAST - SLAB PLAN	Y												
S20-01	LEVEL 13 WEST - SLAB PLAN	Y												
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S21-01	LEVEL 14 WEST - SLAB PLAN	Y												
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S22-01	LEVEL 15 WEST - SLAB PLAN	Y												
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Probuild  
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Nominated Architect:  
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**LEGEND**

**STRUCTURAL CODE**

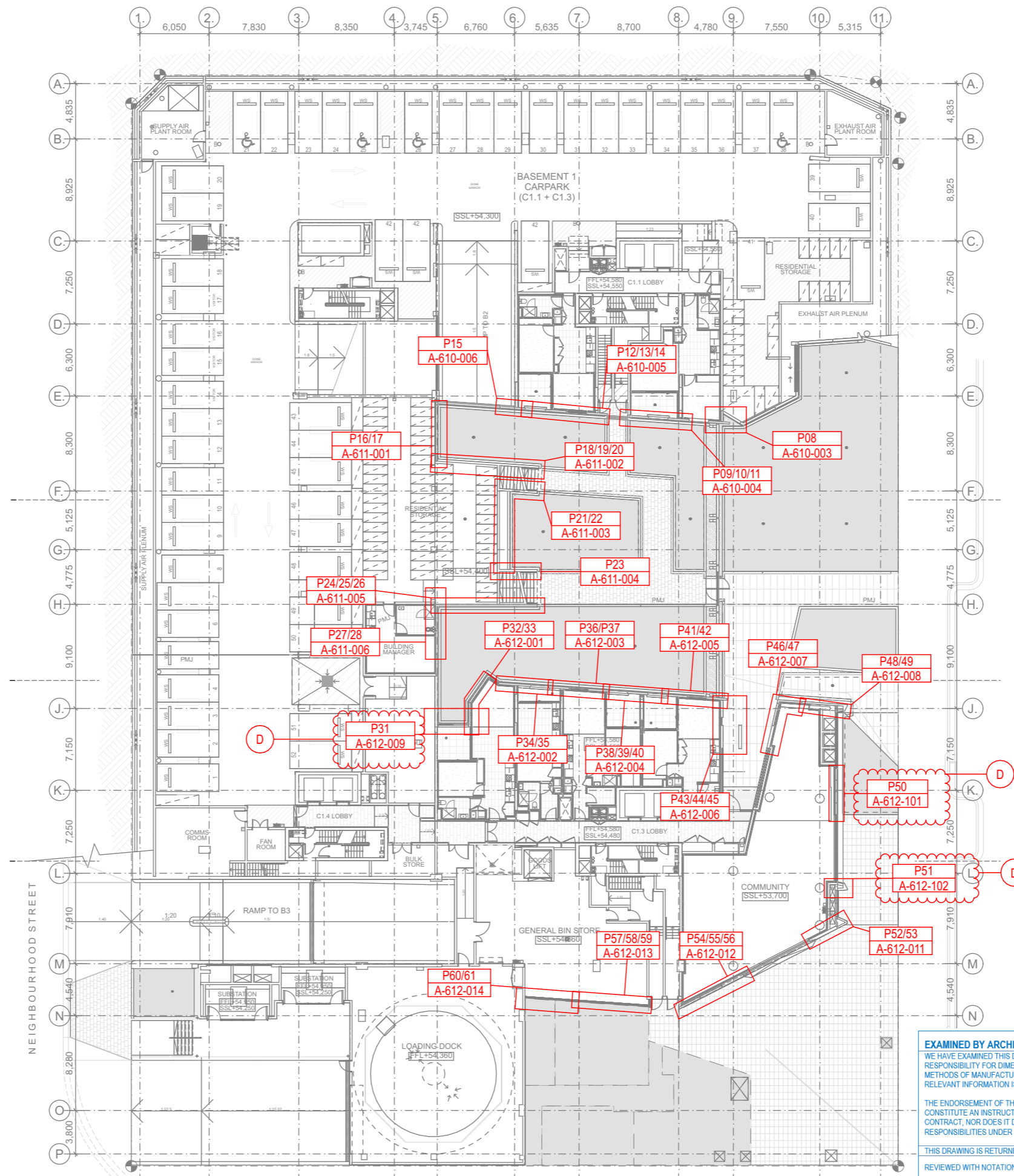
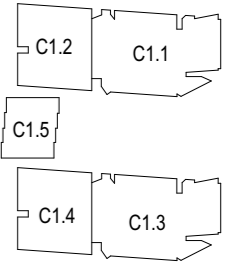
- PW1 150MM THICK NON LOAD BEARING
- PW2 200MM THICK NON LOAD BEARING
- PW3 300MM THICK NON LOAD BEARING
- PW4 200MM THICK LOAD BEARING
- PW5 500MM THICK NON LOAD BEARING
- PW6 0MM THICK NON LOAD BEARING

**PRECAST FINISH CODE**

REFERENCE FROM ARCHITECTURAL 'PRECAST KEY PLAN'

- (A) = PRECAST CONCRETE 'RAW' OR PAINTED
- (B) = PRECAST CONCRETE 'PINK'
- (C) = PRECAST CONCRETE 'SAND'
- (D) = PRECAST CONCRETE WITH RECKLI FORM LINER FINISH

**KEY PLAN - NTS**



<p><b>EXAMINED BY ARCHITECT</b></p> <p>WE HAVE EXAMINED THIS DRAWING BUT DO NOT ACCEPT RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, CALCULATIONS OR METHODS OF MANUFACTURE, NOR DO WE IMPLY THAT ALL RELEVANT INFORMATION IS SHOWN.</p> <p>THE ENDORSEMENT OF THIS DRAWING DOES NOT IN ANY WAY CONSTITUTE AN INSTRUCTION, DIRECTION, ETC. UNDER THE CONTRACT, NOR DOES IT DISCHARGE THE BUILDER OF ITS RESPONSIBILITIES UNDER THE CONTRACT.</p> <p>THIS DRAWING IS RETURNED:</p> <p>REVIEWED WITH NOTATIONS <input type="checkbox"/></p> <p>REVIEWED <input checked="" type="checkbox"/></p>	<p><b>ACCEPTED FOR CONSTRUCTION</b></p> <p><b>CANDELEPAS ASSOCIATES</b></p> <p>309 Sussex Street Sydney NSW 2000 T +61 2 9283 7755 www.candelepaspas.com.au NSW ARCHITECTS REG No. 5773</p> <p>Date: 21/12/21 Job: 5800</p> <p>SIGNED: </p>
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Project Title  
**IVANHOE**  
 BUILDING C1, MIDTOWN ESTATE  
 HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts**  
**Basement 1 - Overall**

Revision	Date	Details
A	05.11.21	For Information
B	16.11.21	Amendments as clouded
C	23.11.21	Amendments as clouded
D	29.11.21	Amendments as clouded

**PROBUILD**  
 85 McLACHLAN AVENUE,  
 RUSHCUTTERS BAY, NSW, 2011

Scale  
 1:50 @ A3  
 Status  
 For Information

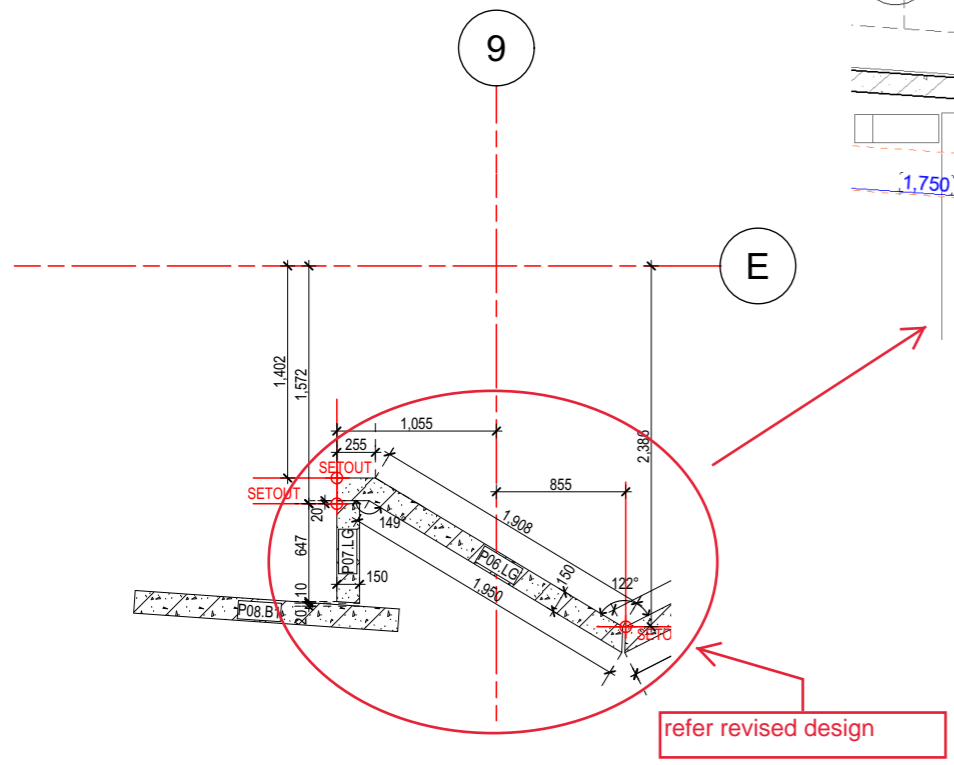
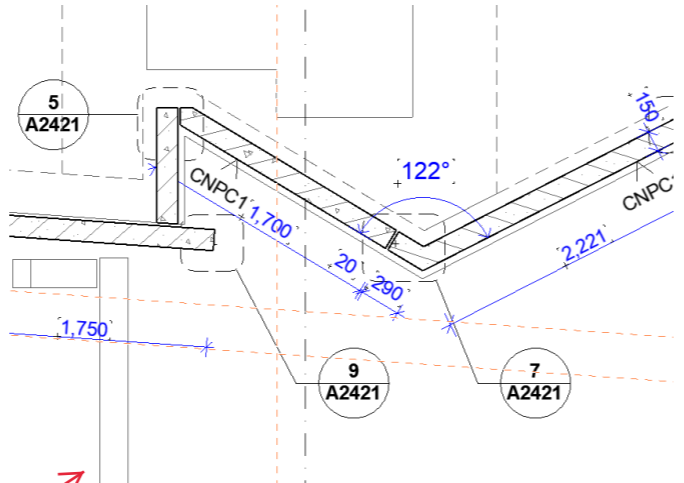
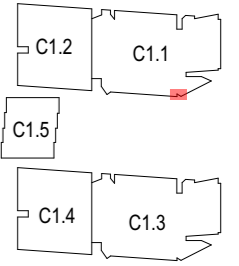
Project No.  
**21012**  
 Dwg No.  
**A-600-001**

Drawn by  
**KAD**  
 Rev  
**D**

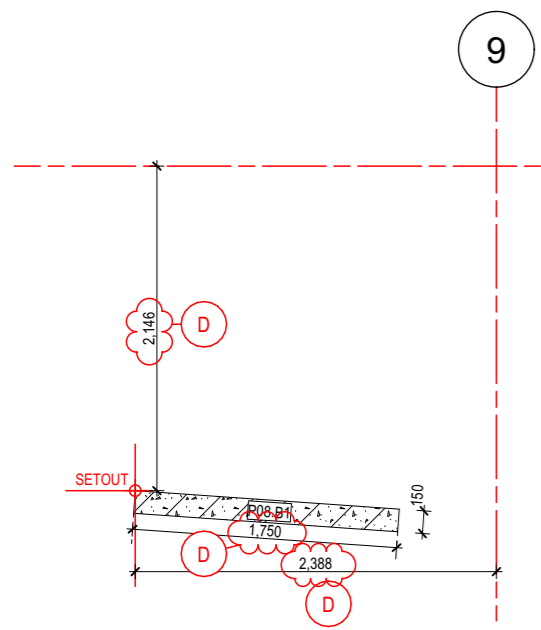


PANEL No	STRUCT	FINISH
-P.06.B1	PW2	(A) PRECAST CONCRETE 'RAW' OR PAINTED
-P.07.B1	PW1	(A) PRECAST CONCRETE 'RAW' OR PAINTED
-P.08.B1	PW1	(B) PRECAST CONCRETE 'PINK'
-P.06.LG	PW2	(A) PRECAST CONCRETE 'RAW' OR PAINTED
-P.07.LG	PW1	(A) PRECAST CONCRETE 'RAW' OR PAINTED

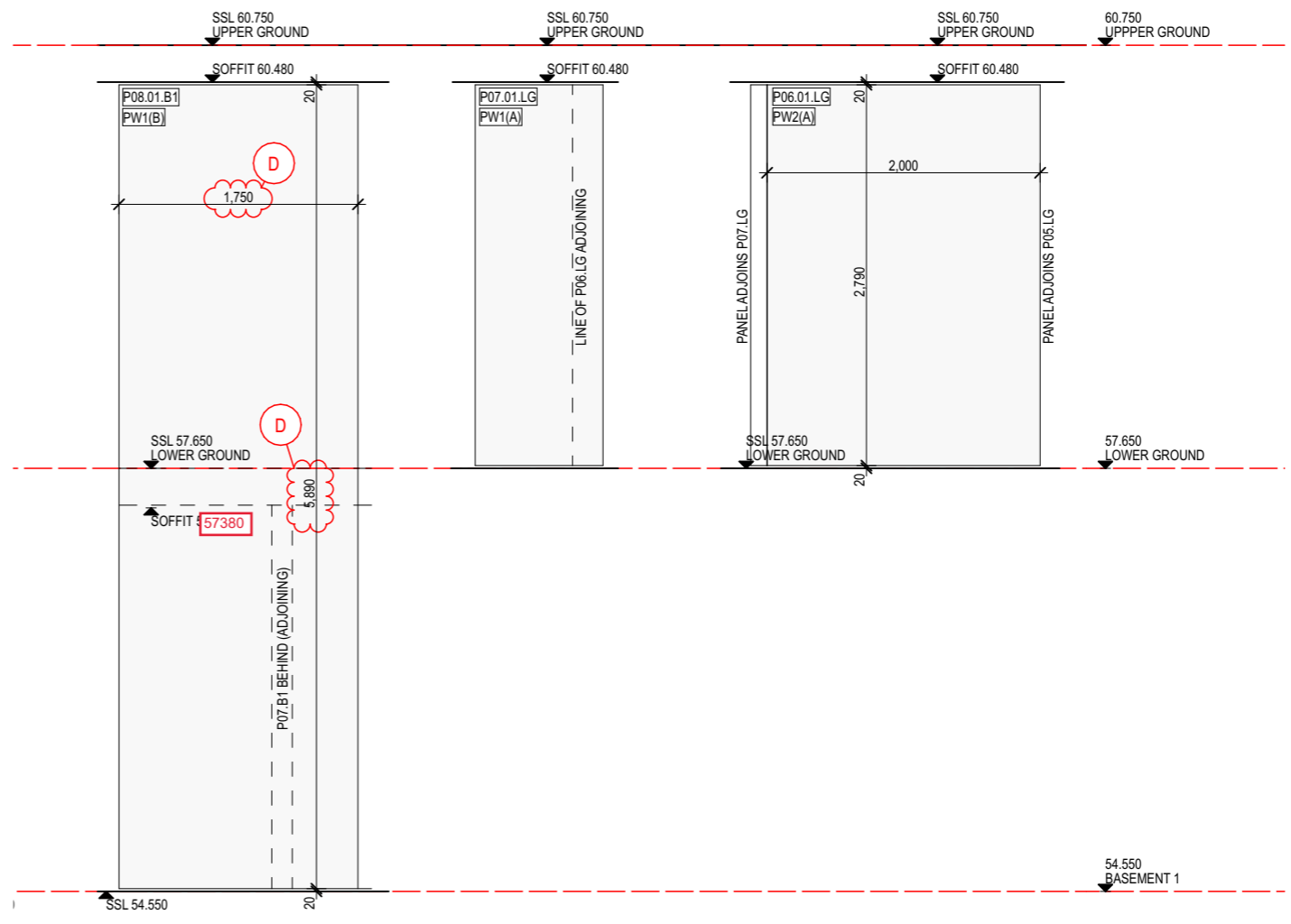
KEY PLAN - NTS



Panels Plan\_LG  
1:50



Panels Plan\_B1  
1:50



Panel Elevation  
1:50

<p><b>EXAMINED BY ARCHITECT</b></p> <p>WE HAVE EXAMINED THIS DRAWING BUT DO NOT ACCEPT RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, CALCULATIONS OR METHODS OF MANUFACTURE, NOR DO WE IMPLY THAT ALL RELEVANT INFORMATION IS SHOWN.</p> <p>THE ENDORSEMENT OF THIS DRAWING DOES NOT IN ANY WAY CONSTITUTE AN INSTRUCTION, DIRECTION, ETC. UNDER THE CONTRACT, NOR DOES IT DISCHARGE THE BUILDER OF ITS RESPONSIBILITIES UNDER THE CONTRACT.</p> <p>THIS DRAWING IS RETURNED: <input type="checkbox"/></p> <p>REVIEWED WITH NOTATIONS <input type="checkbox"/></p> <p>REVIEWED <input checked="" type="checkbox"/></p>	<p><b>ACCEPTED FOR CONSTRUCTION</b></p> <p><b>CANDELEPAS ASSOCIATES</b> 309 Sussex Street Sydney NSW 2000 T +61 2 9283 7755 www.candelepaspas.com.au NSW ARCHITECTS REG No. 5773</p> <p>Date: 21/12/21 Job: 5800</p> <p>SIGNED: </p>
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Project Title  
**IVANHOE**  
BUILDING C1, MIDTOWN ESTATE  
HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.1**  
B1 & LG - East - Sheet 3

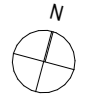
Revision	Date	Details
A	03.11.21	For Information
B	05.11.21	For Information
C	16.11.21	P05 and P06 panels deleted from B1
D	26.11.21	Amendments as clouded

**PROBUILD**  
85 McLACHLAN AVENUE,  
RUSHCUTTERS BAY, NSW, 2011

Scale  
1:50 @ A3  
Status  
For Information

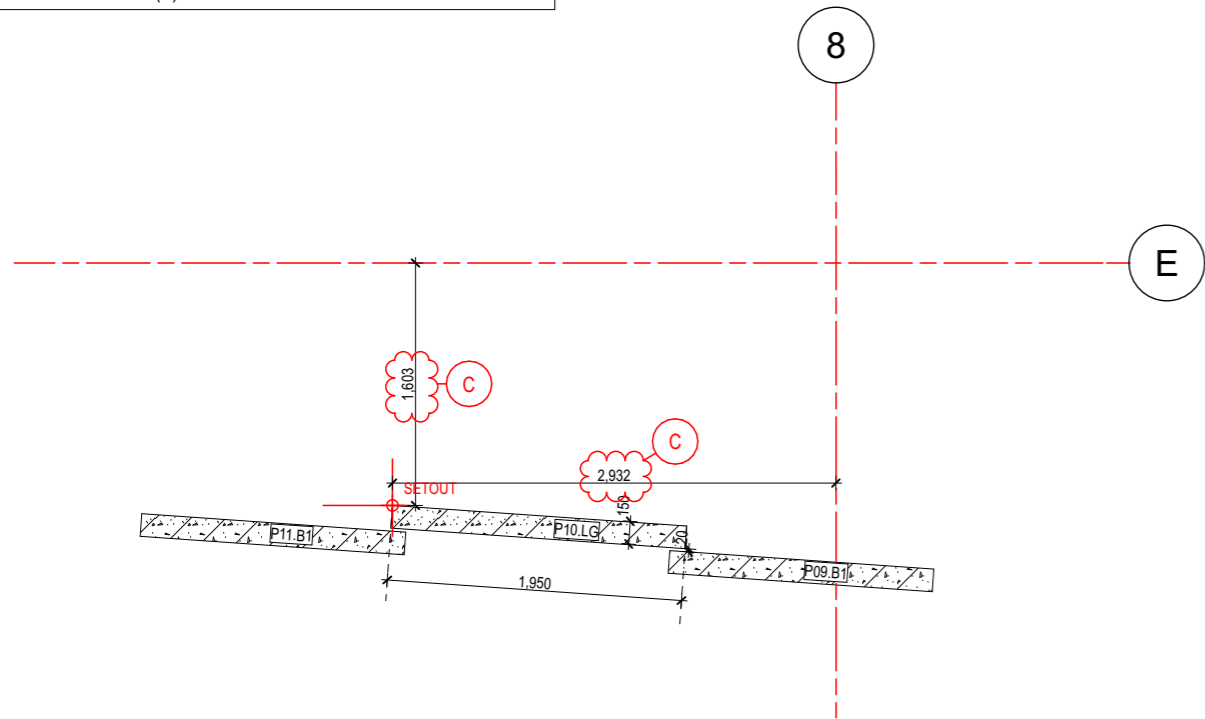
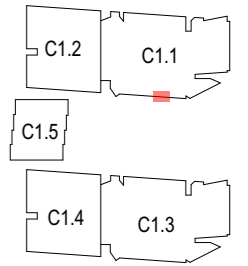
Project No.  
**21012**  
Dwg No.  
**A-610-003**

Drawn by  
**KAD**  
Rev  
**D**

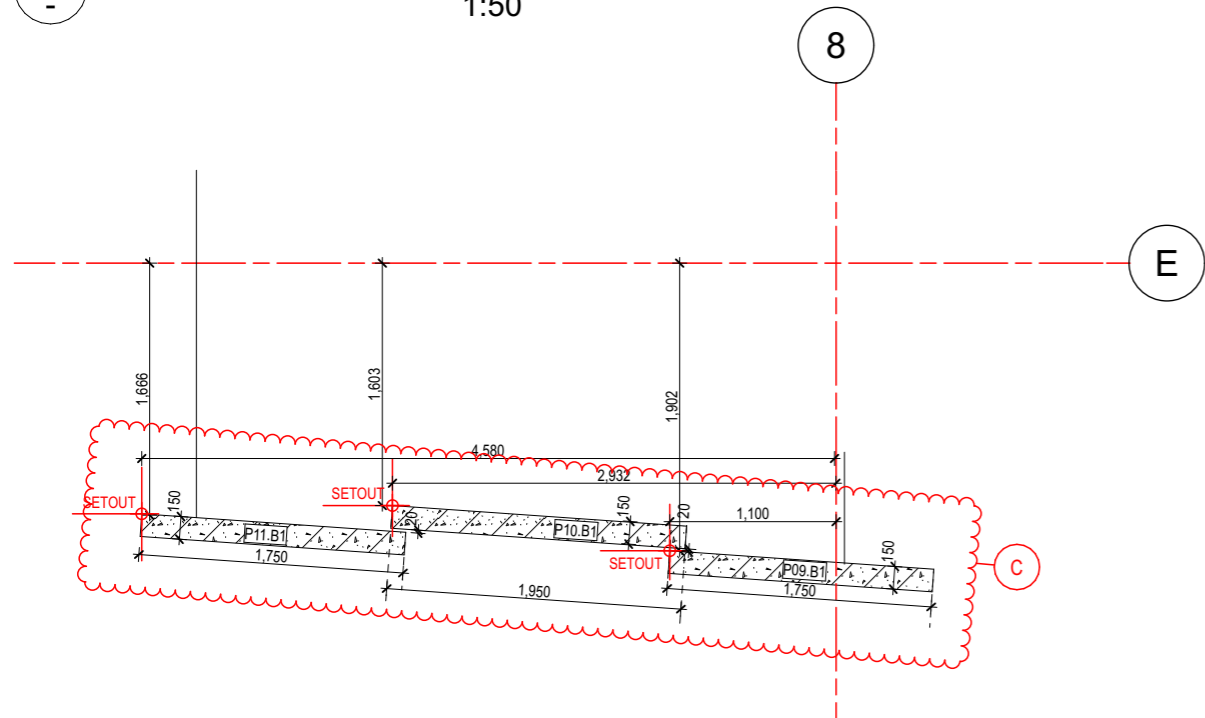


PANEL No	STRUCT	FINISH
- P.09.B1	PW1	(B) PRECAST CONCRETE 'PINK'
- P.10.B1	PW1	(A) PRECAST CONCRETE 'RAW' OR PAINTED
- P.11.B1	PW1	(B) PRECAST CONCRETE 'PINK'
- P.10.LG	PW1	(A) PRECAST CONCRETE 'RAW' OR PAINTED

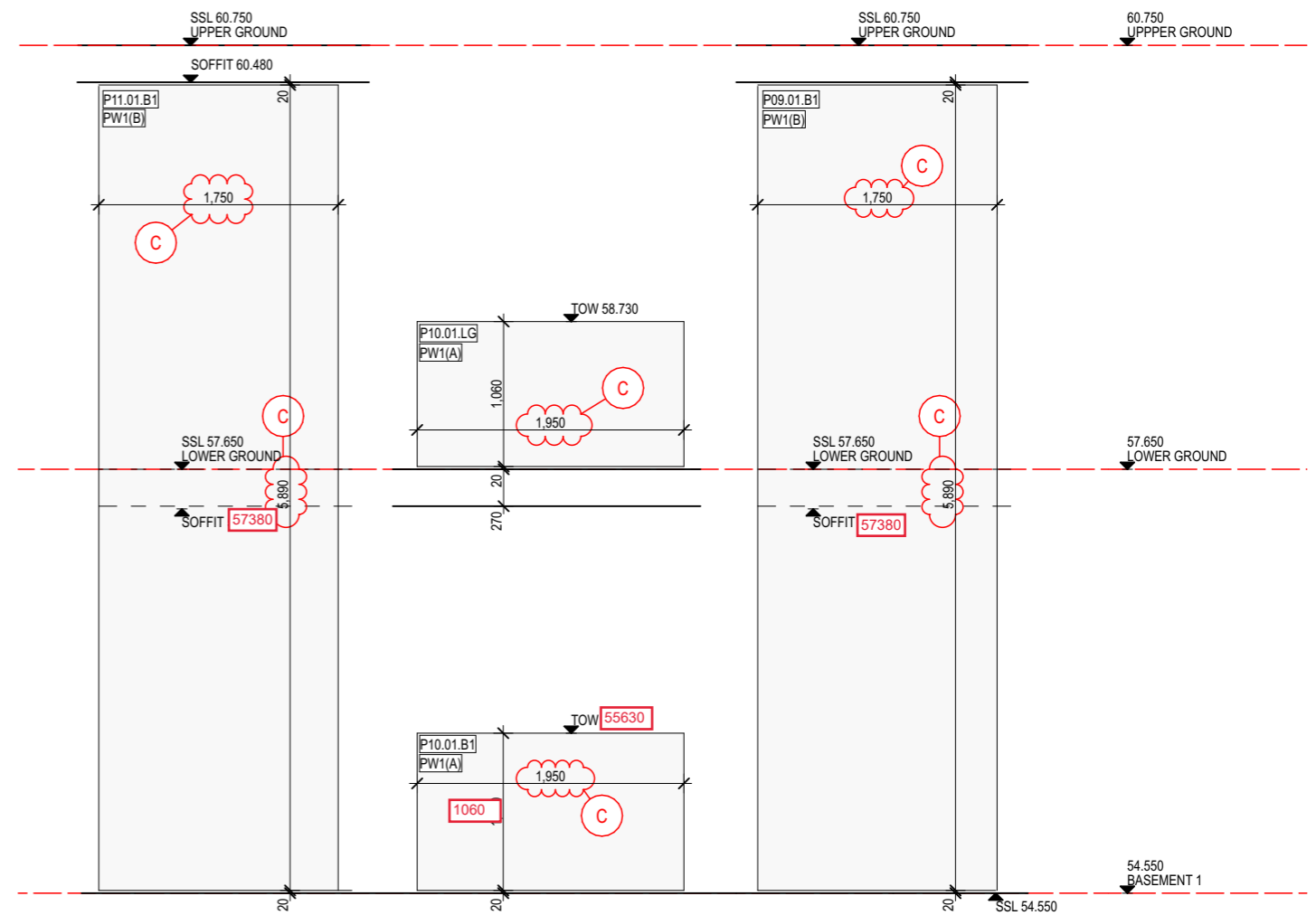
KEY PLAN - NTS



Panels Plan\_LG  
1:50



Panels Plan\_B1  
1:50



Panel Elevation  
1:50

<p><b>EXAMINED BY ARCHITECT</b></p> <p>WE HAVE EXAMINED THIS DRAWING BUT DO NOT ACCEPT RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, CALCULATIONS OR METHODS OF MANUFACTURE, NOR DO WE IMPLY THAT ALL RELEVANT INFORMATION IS SHOWN.</p> <p>THE ENDORSEMENT OF THIS DRAWING DOES NOT IN ANY WAY CONSTITUTE AN INSTRUCTION, DIRECTION, ETC. UNDER THE CONTRACT, NOR DOES IT DISCHARGE THE BUILDER OF ITS RESPONSIBILITIES UNDER THE CONTRACT.</p> <p>THIS DRAWING IS RETURNED:</p> <p>REVIEWED WITH NOTATIONS <input type="checkbox"/></p> <p>REVIEWED <input checked="" type="checkbox"/></p>	<p><b>ACCEPTED FOR CONSTRUCTION</b></p> <p><b>CANDELEPAS ASSOCIATES</b> 309 Sussex Street Sydney NSW 2000 T +61 2 9283 7755 www.candelepaspas.com.au NSW ARCHITECTS REG No. 5773</p> <p>Date: 21/12/21 Job: 5800</p> <p>SIGNED: </p>
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Project Title  
**IVANHOE**  
BUILDING C1, MIDTOWN ESTATE  
HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.1**  
B1 & LG - East - Sheet 4

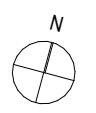
Revision	Date	Details
A	03.11.21	For Information
B	16.11.21	Amendments as clouded
C	26.11.21	Amendments as clouded

**PROBUILD**  
85 McLACHLAN AVENUE,  
RUSHCUTTERS BAY, NSW, 2011

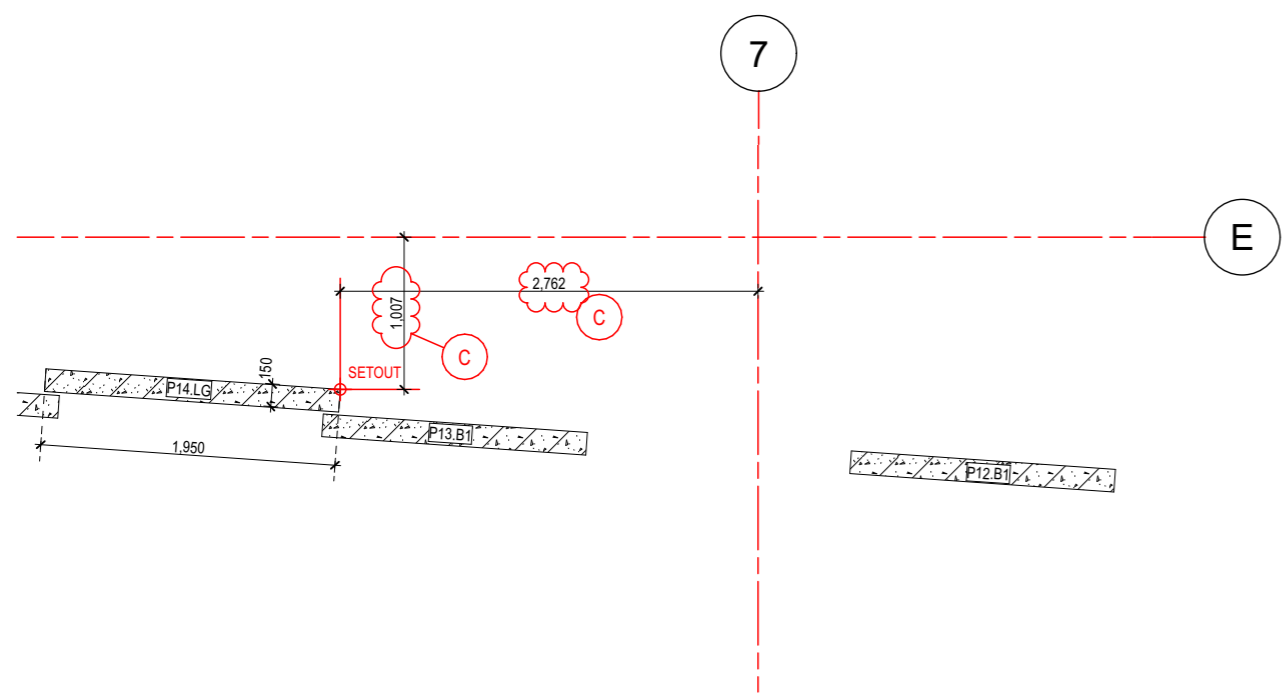
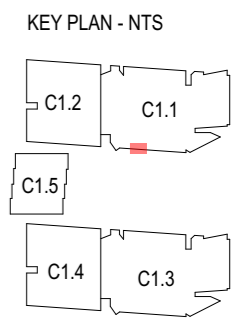
Scale  
1:50 @ A3  
Status  
For Information

Project No.  
**21012**  
Dwg No.  
**A-610-004**

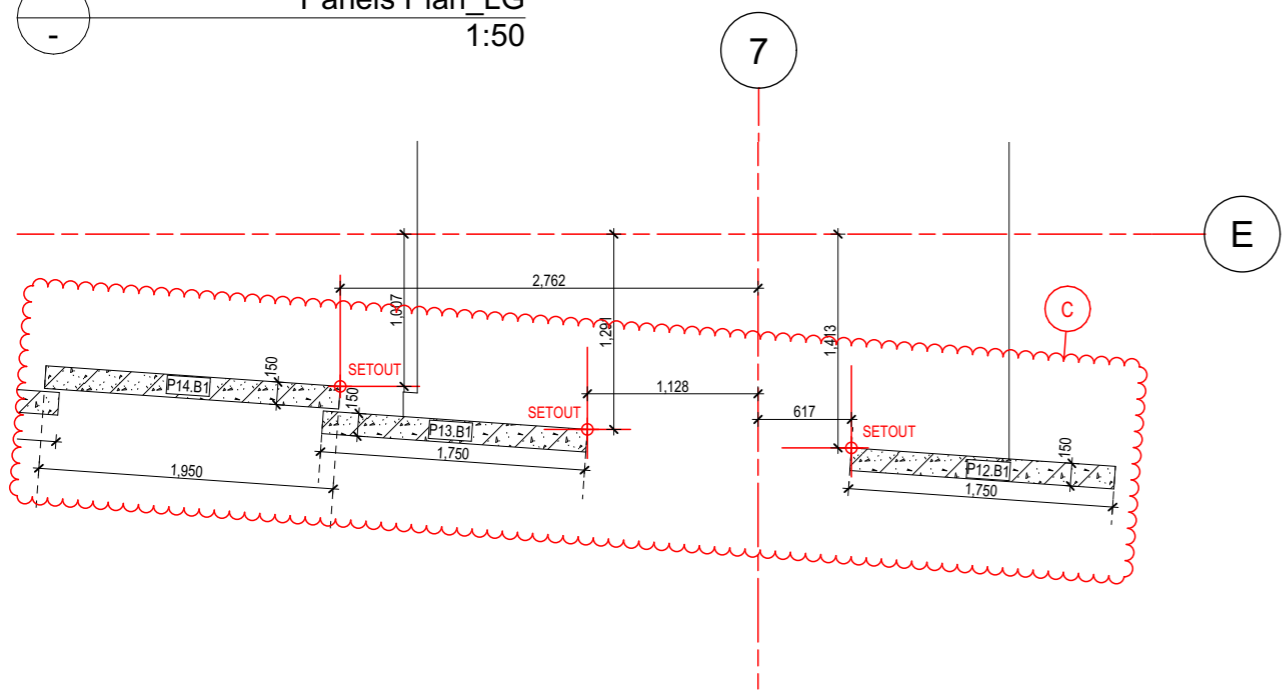
Drawn by  
**KAD**  
Rev  
**C**



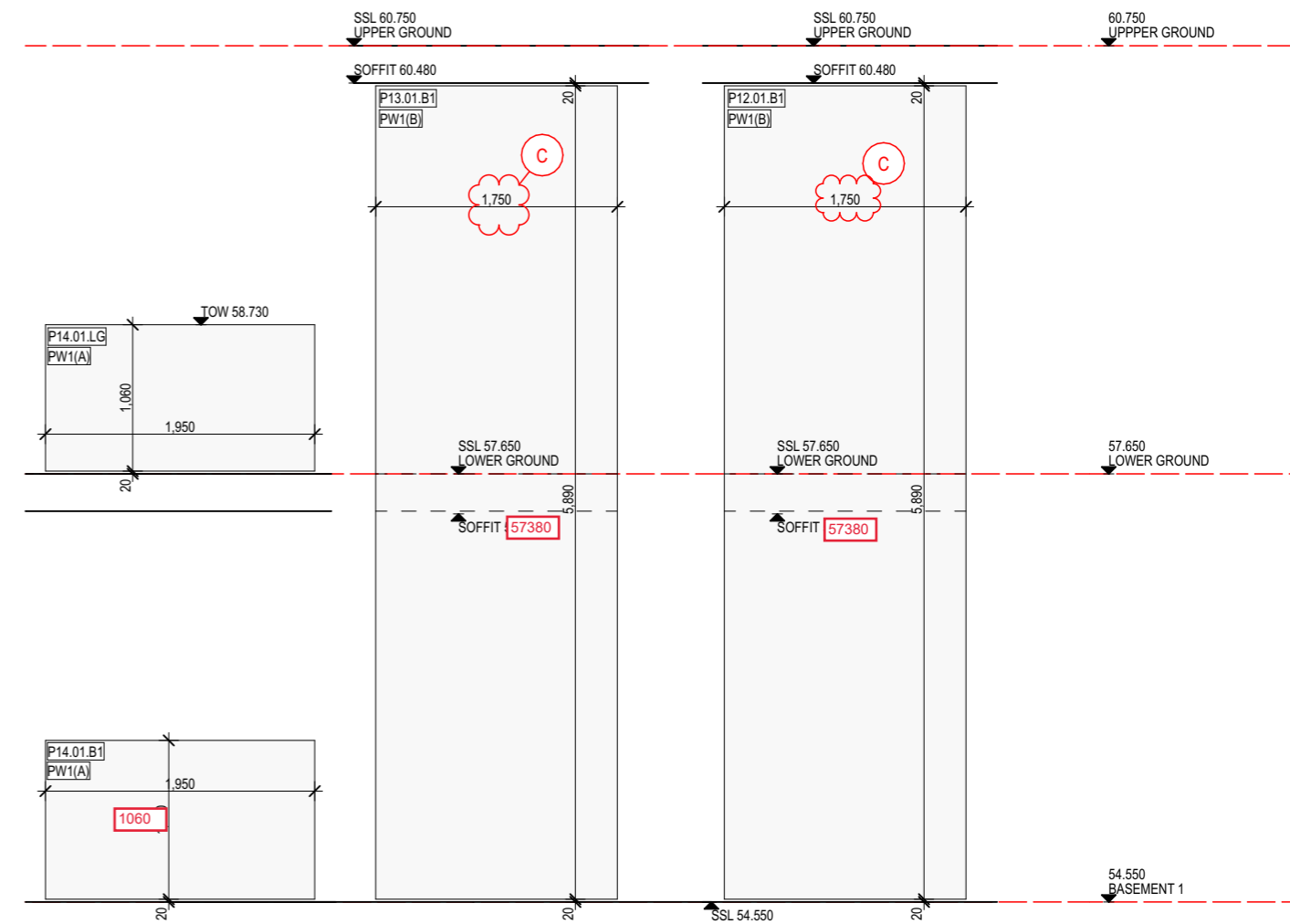
PANEL No	STRUCT	FINISH
- P.12.B1	PW1	(B) PRECAST CONCRETE 'PINK'
- P.13.B1	PW1	(B) PRECAST CONCRETE 'PINK'
- P.14.B1	PW1	(A) PRECAST CONCRETE 'RAW' OR PAINTED
- P.14.LG	PW1	(A) PRECAST CONCRETE 'RAW' OR PAINTED



Panels Plan\_LG  
1:50



Panels Plan\_B1  
1:50



Panel Elevation  
1:50

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THIS DRAWING IS RETURNED:	Date: 21/12/21 Job: 5800
REVIEWED WITH NOTATIONS <input type="checkbox"/>	SIGNED:
REVIEWED <input checked="" type="checkbox"/>	

Project Title  
**IVANHOE**  
BUILDING C1, MIDTOWN ESTATE  
HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.1**  
B1 & LG - East - Sheet 5

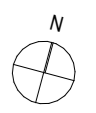
Revision	Date	Details
A	03.11.21	For Information
B	16.11.21	Amendments as clouded
C	26.11.21	Amendments as clouded

**PROBUILD**  
85 McLACHLAN AVENUE,  
RUSHCUTTERS BAY, NSW, 2011

Scale  
1:50 @ A3  
Status  
For Information

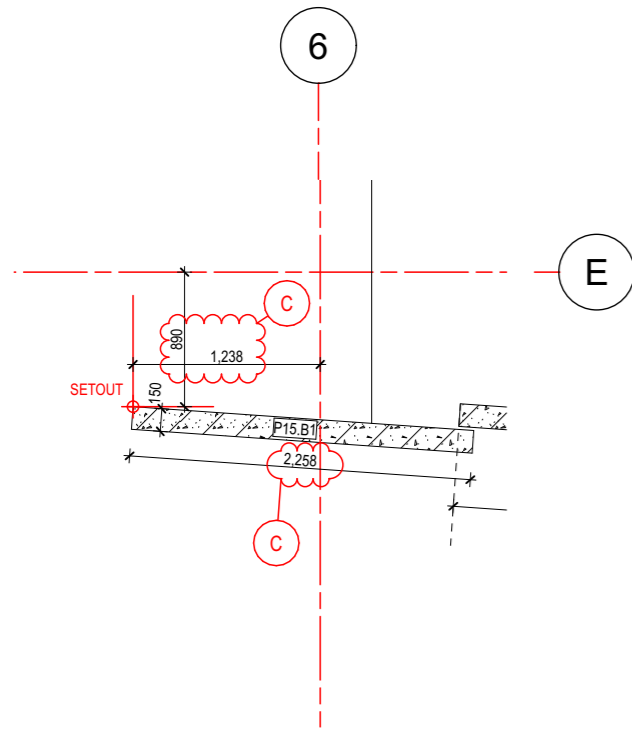
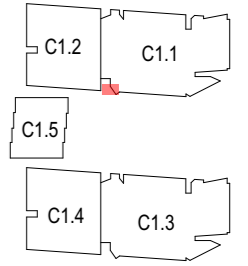
Project No.  
**21012**  
Dwg No.  
**A-610-005**

Drawn by  
**KAD**  
Rev  
**C**

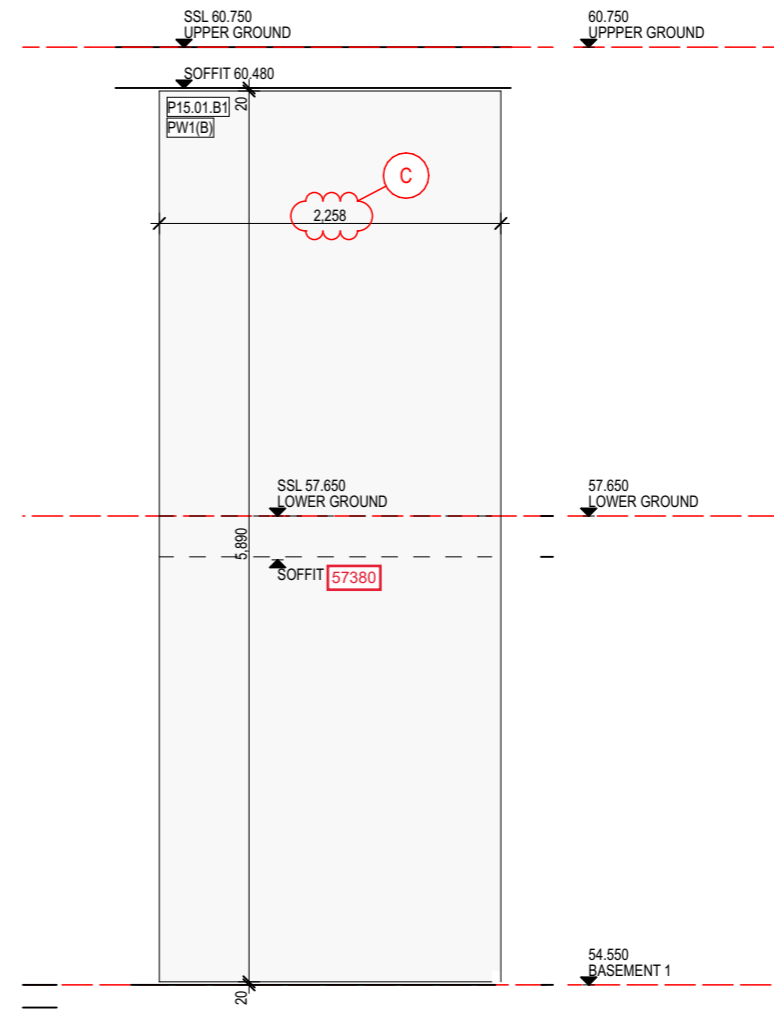


PANEL No	STRUCT	FINISH
- P.15.B1	PW1	(B) PRECAST CONCRETE 'PINK'

KEY PLAN - NTS



Panels Plan B1  
1:50



Panel Elevation  
1:50

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WE HAVE EXAMINED THIS DRAWING BUT DO NOT ACCEPT RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, CALCULATIONS OR METHODS OF MANUFACTURE, NOR DO WE IMPLY THAT ALL RELEVANT INFORMATION IS SHOWN.	<b>CANDELEPAS ASSOCIATES</b> 309 Sussex Street Sydney NSW 2000 T+61 2 9283 7755 www.candelepaspas.com.au NSW ARCHITECTS REG No. 5773
THE ENDORSEMENT OF THIS DRAWING DOES NOT IN ANY WAY CONSTITUTE AN INSTRUCTION, DIRECTION, ETC. UNDER THE CONTRACT, NOR DOES IT DISCHARGE THE BUILDER OF ITS RESPONSIBILITIES UNDER THE CONTRACT.	Date: 21/12/21 Job: 5800
THIS DRAWING IS RETURNED:	SIGNED:
REVIEWED WITH NOTATIONS <input type="checkbox"/>	
REVIEWED <input checked="" type="checkbox"/>	

Project Title  
**IVANHOE**  
BUILDING C1, MIDTOWN ESTATE  
HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.1  
B1 & LG - East - Sheet 6**

Revision	Date	Details
A	03.11.21	For Information
B	16.11.21	Amendments as clouded
C	26.11.21	Amendments as clouded

**PROBUILD**  
85 McLACHLAN AVENUE,  
RUSHCUTTERS BAY, NSW, 2011

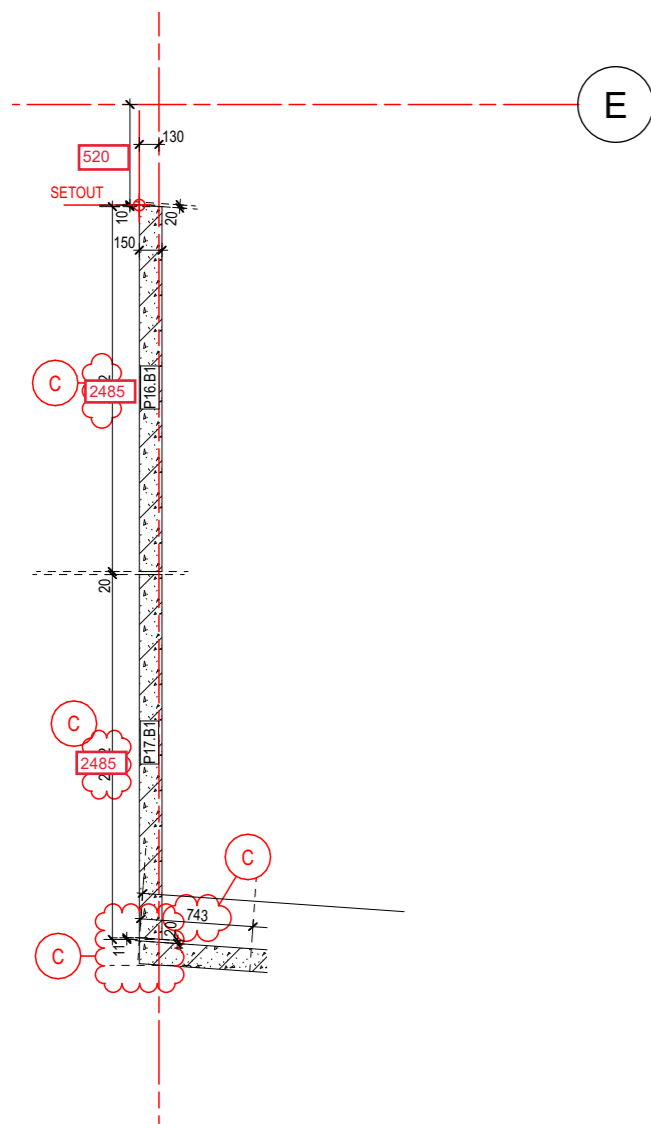
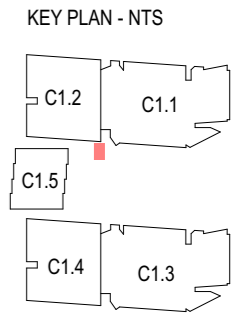
Scale  
1:50 @ A3  
Status  
For Information

Project No. **21012**  
Dwg No. **A-610-006**

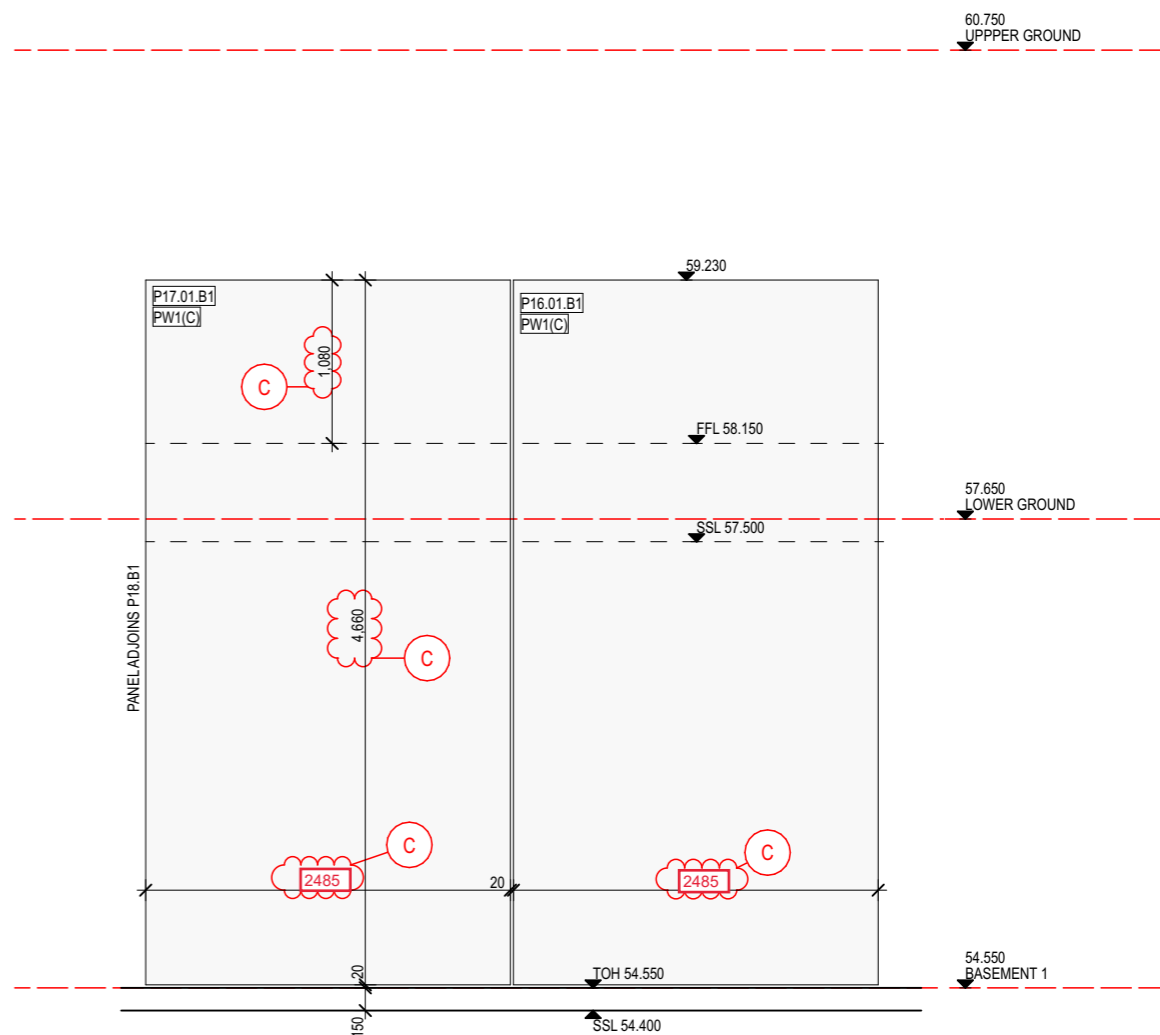
Drawn by **KAD**  
Rev **C**



PANEL No	STRUCT	FINISH
- P.16.B1	PW1	(C) PRECAST CONCRETE 'SAND'
- P.17.B1	PW1	(C) PRECAST CONCRETE 'SAND'



Panels Plan\_B1  
1:50



Panel Elevation  
1:50

EXAMINED BY ARCHITECT	ACCEPTED FOR CONSTRUCTION
WE HAVE EXAMINED THIS DRAWING BUT DO NOT ACCEPT RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, CALCULATIONS OR METHODS OF MANUFACTURE, NOR DO WE IMPLY THAT ALL RELEVANT INFORMATION IS SHOWN.	<b>CANDELEPAS ASSOCIATES</b> 309 Sussex Street Sydney NSW 2000 T+61 2 9283 7755 www.candelepaspas.com.au NSW ARCHITECTS REG No. 5773
THE ENDORSEMENT OF THIS DRAWING DOES NOT IN ANY WAY CONSTITUTE AN INSTRUCTION, DIRECTION, ETC. UNDER THE CONTRACT, NOR DOES IT DISCHARGE THE BUILDER OF ITS RESPONSIBILITIES UNDER THE CONTRACT.	
THIS DRAWING IS RETURNED:	Date: 21/12/21 Job: 5800
REVIEWED WITH NOTATIONS <input type="checkbox"/>	SIGNED:
REVIEWED <input checked="" type="checkbox"/>	

Project Title  
**IVANHOE**  
 BUILDING C1, MIDTOWN ESTATE  
 HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.5**  
 Basement 1 - North - Sheet 1

Revision	Date	Details
A	03.11.21	For Information
B	17.11.21	For Information
C	23.11.21	Amendments as clouded

**PROBUILD**  
 85 McLACHLAN AVENUE,  
 RUSHCUTTERS BAY, NSW, 2011

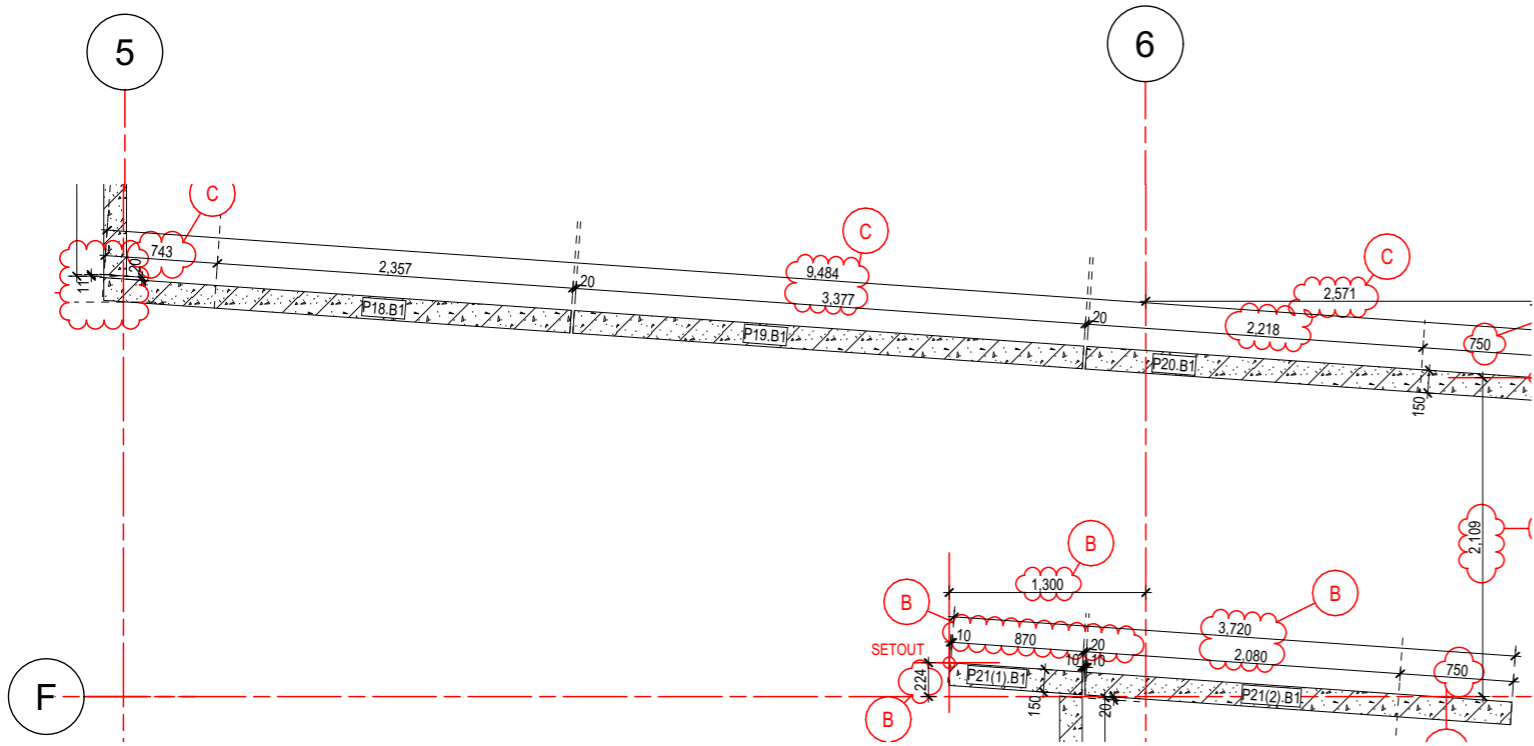
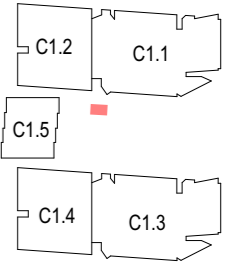
Scale  
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 Status  
 For Information

Project No.  
**21012**  
 Dwg No.  
**A-611-001**

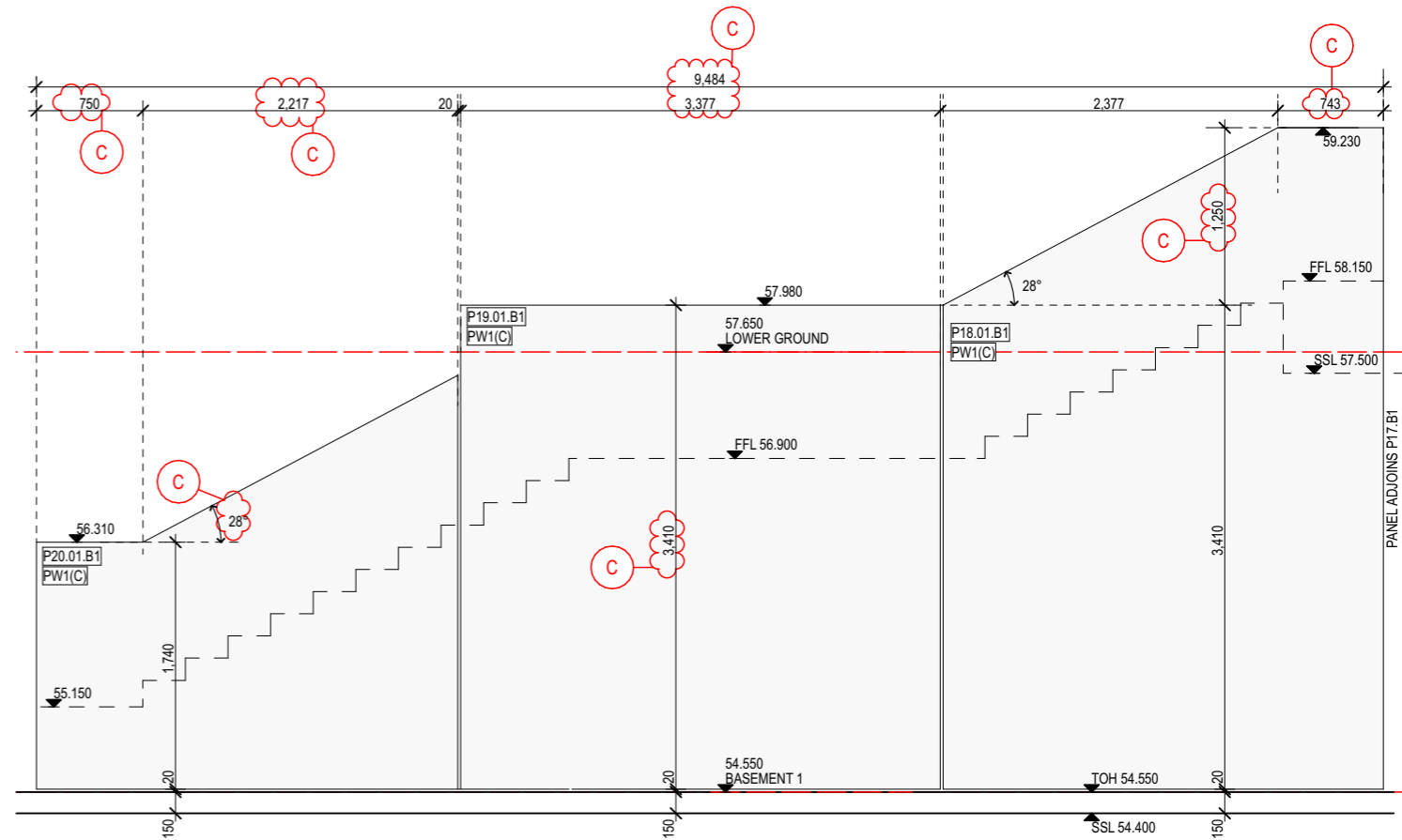
Drawn by  
**KAD**  
 Rev  
**C**

PANEL No	STRUCT	FINISH
- P.18.B1	PW1	(C) PRECAST CONCRETE 'SAND'
- P.19.B1	PW1	(C) PRECAST CONCRETE 'SAND'
- P.20.B1	PW1	(C) PRECAST CONCRETE 'SAND'

KEY PLAN - NTS



Panels Plan B1  
1:50



Panel Elevation  
1:50

<p><b>EXAMINED BY ARCHITECT</b></p> <p>WE HAVE EXAMINED THIS DRAWING BUT DO NOT ACCEPT RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, CALCULATIONS OR METHODS OF MANUFACTURE, NOR DO WE IMPLY THAT ALL RELEVANT INFORMATION IS SHOWN.</p> <p>THE ENDORSEMENT OF THIS DRAWING DOES NOT IN ANY WAY CONSTITUTE AN INSTRUCTION, DIRECTION, ETC. UNDER THE CONTRACT, NOR DOES IT DISCHARGE THE BUILDER OF ITS RESPONSIBILITIES UNDER THE CONTRACT.</p> <p>THIS DRAWING IS RETURNED: <input type="checkbox"/></p> <p>REVIEWED WITH NOTATIONS: <input type="checkbox"/></p> <p>REVIEWED: <input checked="" type="checkbox"/></p>	<p><b>ACCEPTED FOR CONSTRUCTION</b></p> <p><b>CANDELEPAS ASSOCIATES</b> 309 Sussex Street Sydney NSW 2000 T +61 2 9283 7755 www.candelepaspas.com.au NSW ARCHITECTS REG No. 5773</p> <p>Date: 21/12/21 Job: 5800</p> <p>SIGNED: </p>
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Project Title  
**IVANHOE**  
BUILDING C1, MIDTOWN ESTATE  
HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.5**  
Basement 1 - North- Sheet 2

Revision	Date	Details
A	03.11.21	For Information
B	17.11.21	For Information
C	23.11.21	Amendments as clouded

**PROBUILD**  
85 McLACHLAN AVENUE,  
RUSHCUTTERS BAY, NSW, 2011

Scale  
1:50 @ A3  
Status  
For Information

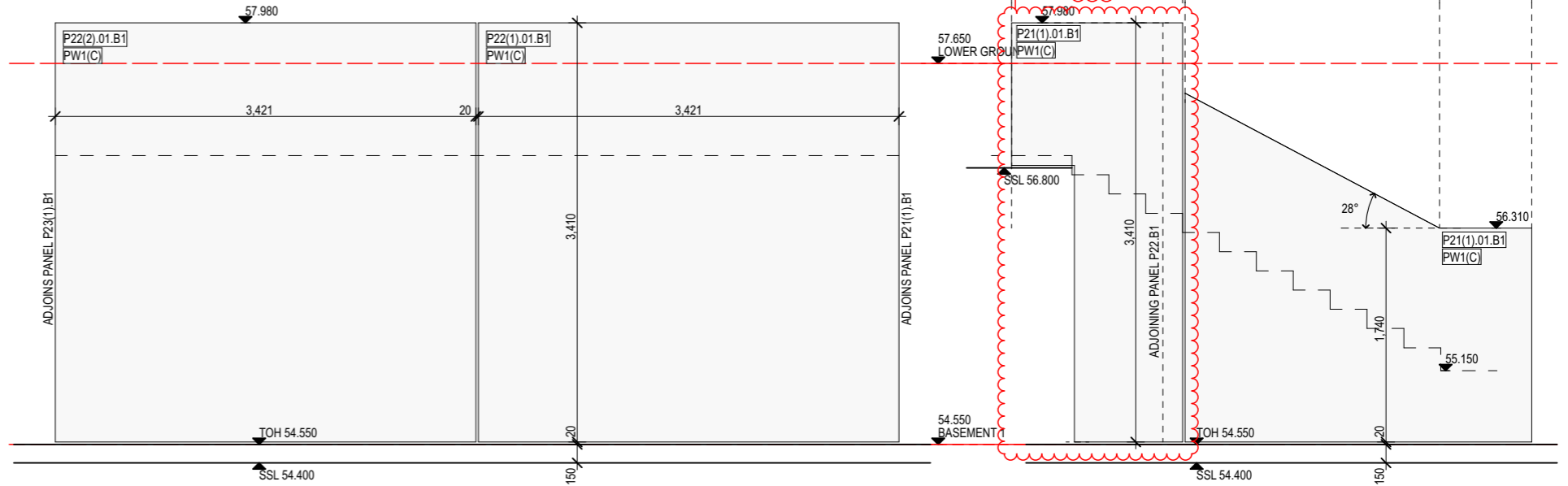
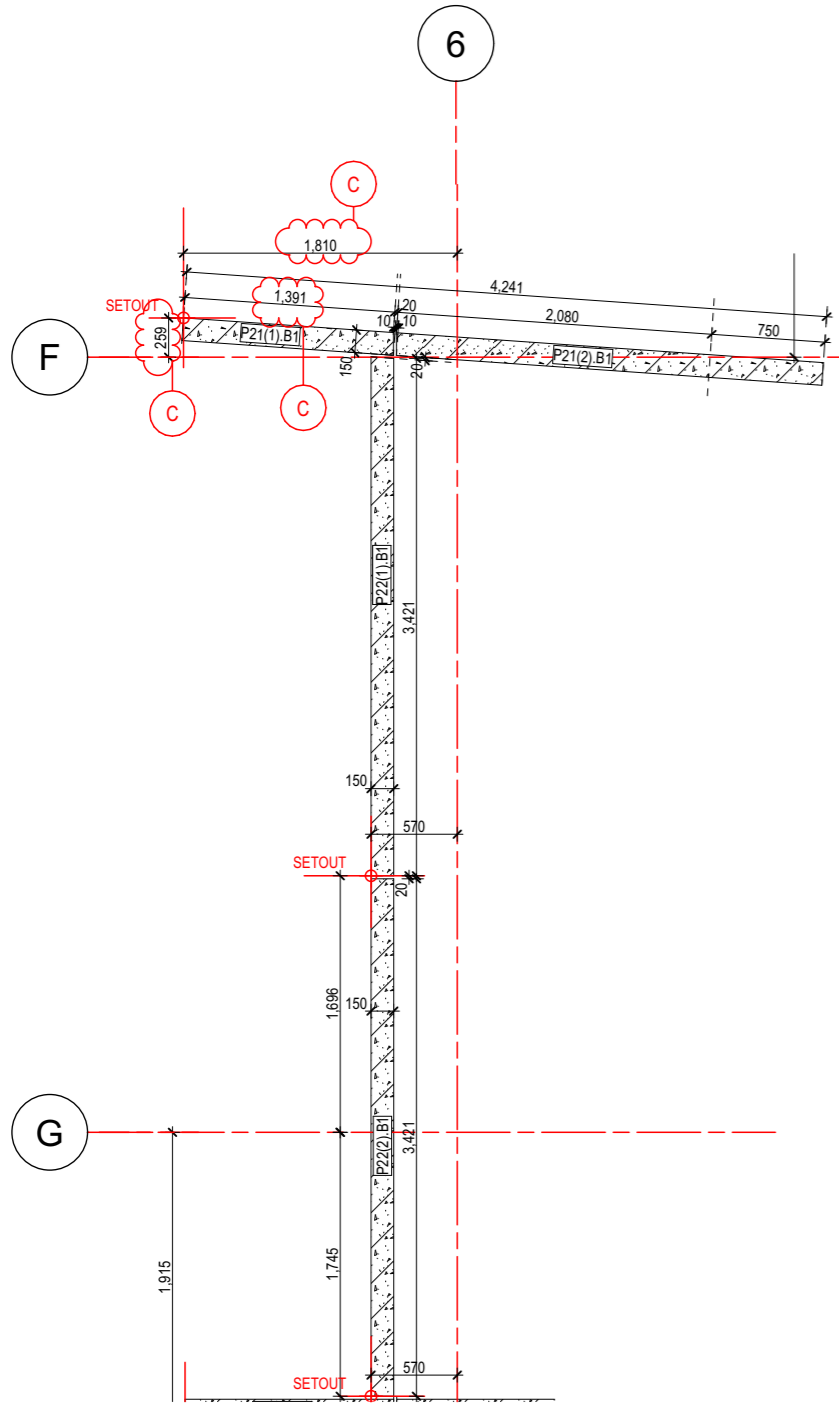
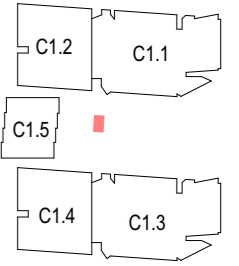
Project No.  
**21012**  
Dwg No.  
**A-611-002**

Drawn by  
**KAD**  
Rev  
**C**



PANEL No	STRUCT	FINISH
- P.21.B1	PW1	(C) PRECAST CONCRETE 'SAND'
- P.22(1).B1	PW1	(C) PRECAST CONCRETE 'SAND'
- P.22(2).B1	PW1	(C) PRECAST CONCRETE 'SAND'

KEY PLAN - NTS



Panels Plan B1  
1:50

Panel Elevation  
1:50

<p><b>EXAMINED BY ARCHITECT</b></p> <p>WE HAVE EXAMINED THIS DRAWING BUT DO NOT ACCEPT RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, CALCULATIONS OR METHODS OF MANUFACTURE, NOR DO WE IMPLY THAT ALL RELEVANT INFORMATION IS SHOWN.</p> <p>THE ENDORSEMENT OF THIS DRAWING DOES NOT IN ANY WAY CONSTITUTE AN INSTRUCTION, DIRECTION, ETC. UNDER THE CONTRACT, NOR DOES IT DISCHARGE THE BUILDER OF ITS RESPONSIBILITIES UNDER THE CONTRACT.</p>	<p><b>ACCEPTED FOR CONSTRUCTION</b></p> <p><b>CANDELEPAS ASSOCIATES</b> 309 Sussex Street Sydney NSW 2000 T +61 2 9283 7755 www.candelepaspas.com.au NSW ARCHITECTS REG No. 5773</p>
<p>THIS DRAWING IS RETURNED:</p> <p>REVIEWED WITH NOTATIONS <input type="checkbox"/></p> <p>REVIEWED <input checked="" type="checkbox"/></p>	<p>Date: 21/12/21 Job: 5800</p> <p>SIGNED: </p>

Project Title  
**IVANHOE**  
BUILDING C1, MIDTOWN ESTATE  
HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.5**  
Basement 1 - North - Sheet 3

Revision	Date	Details
A	17.11.21	For Information
B	23.11.21	Amendments as clouded
C	09.12.21	Amendments as clouded

**PROBUILD**  
85 McLACHLAN AVENUE,  
RUSHCUTTERS BAY, NSW, 2011

Scale  
1:50 @ A3  
Status  
For Information

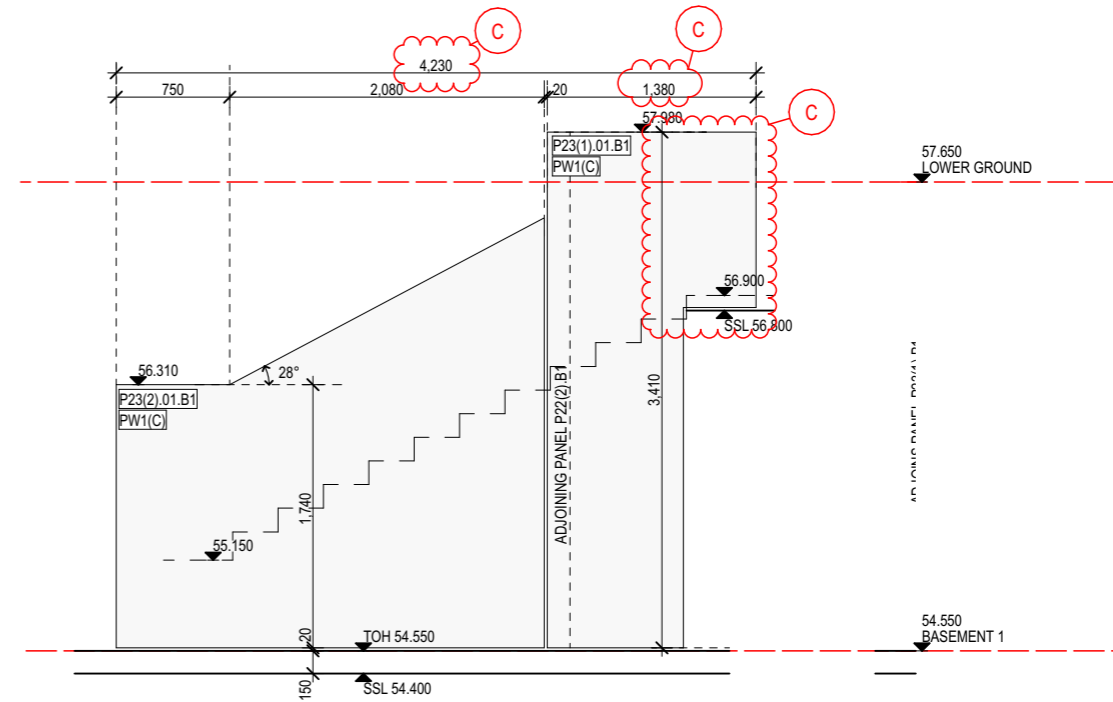
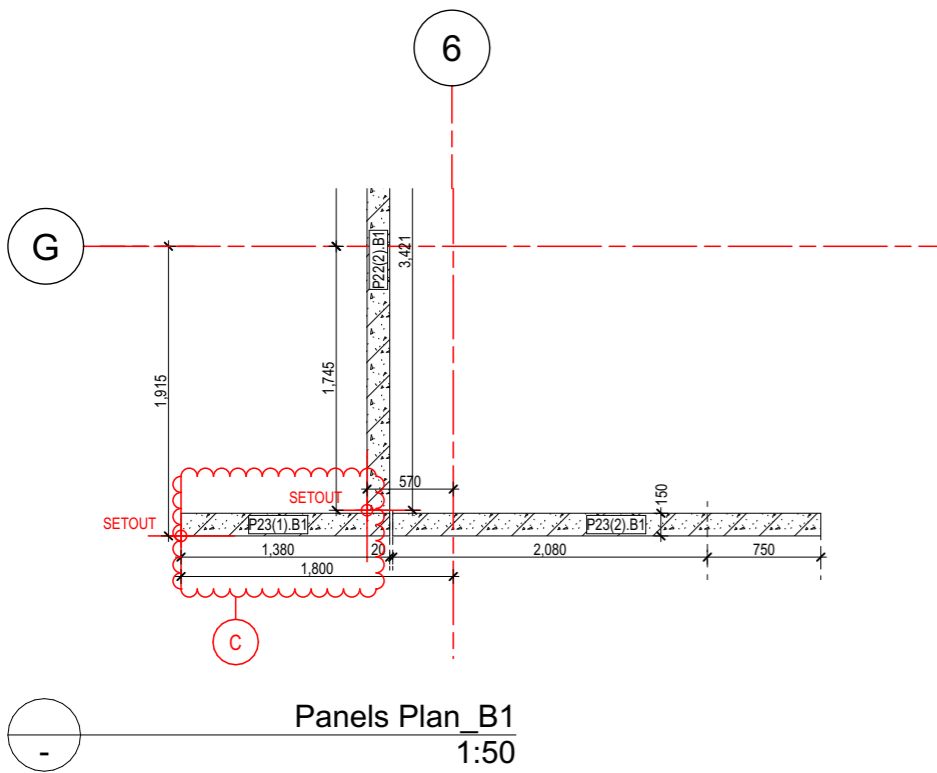
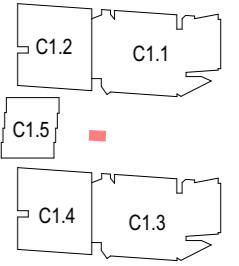
Project No. **21012**  
Dwg No. **A-611-003**

Drawn by **KAD**  
Rev **C**



PANEL No	STRUCT	FINISH
- P.23.B1	PW1	(C) PRECAST CONCRETE 'SAND'

KEY PLAN - NTS



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THIS DRAWING IS RETURNED:	Date: 21/12/21 Job: 5800
REVIEWED WITH NOTATIONS <input type="checkbox"/>	SIGNED:
REVIEWED <input checked="" type="checkbox"/>	

Project Title  
**IVANHOE**  
 BUILDING C1, MIDTOWN ESTATE  
 HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.5**  
 Basement 1 - North - Sheet 4

Revision	Date	Details
A	17.11.21	For Information
B	23.11.21	Amendments as clouded
C	09.12.21	Amendments as clouded

**PROBUILD**  
 85 McLACHLAN AVENUE,  
 RUSHCUTTERS BAY, NSW, 2011

Scale  
 1:50 @ A3  
 Status  
 For Information

Project No. **21012**  
 Dwg No. **A-611-004**

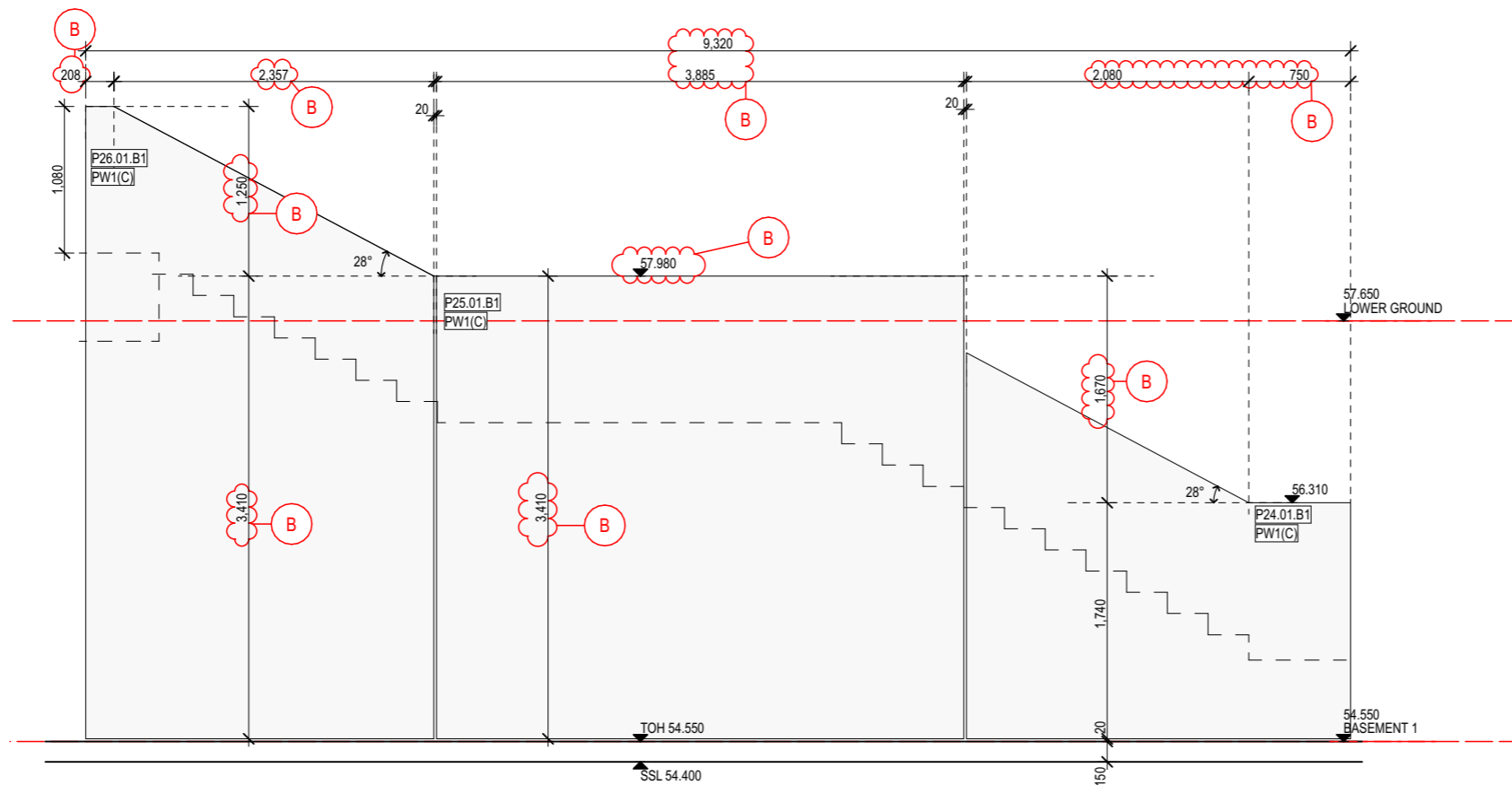
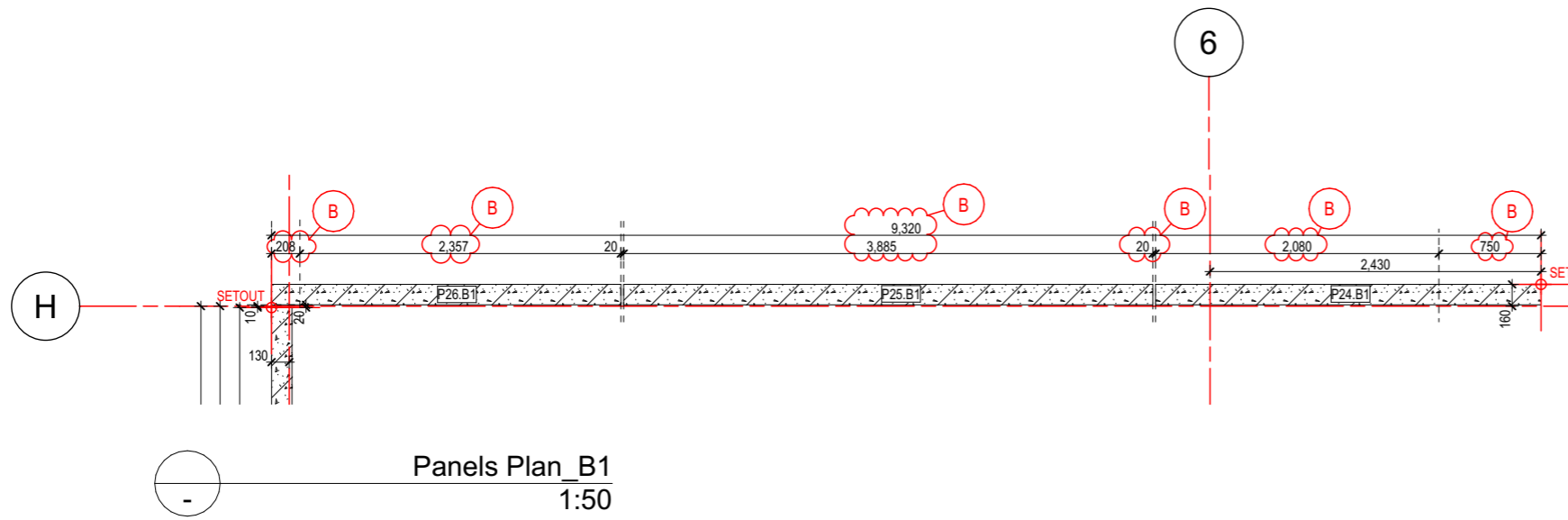
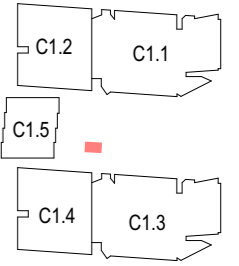
Drawn by **KAD**  
 Rev **C**





PANEL No	STRUCT	FINISH
- P.24.B1	PW1	(C) PRECAST CONCRETE 'SAND'
- P.25.B1	PW1	(C) PRECAST CONCRETE 'SAND'
- P.26.B1	PW1	(C) PRECAST CONCRETE 'SAND'

KEY PLAN - NTS



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THIS DRAWING IS RETURNED: <input type="checkbox"/>	Date: 21/12/21 Job: 5800
REVIEWED WITH NOTATIONS <input type="checkbox"/>	SIGNED:
REVIEWED <input checked="" type="checkbox"/>	

Project Title  
**IVANHOE**  
 BUILDING C1, MIDTOWN ESTATE  
 HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.5**  
 Basement 1 - North - Sheet 5

Revision	Date	Details
A	17.11.21	For Information
B	23.11.21	Amendments as clouded

**PROBUILD**  
 85 McLACHLAN AVENUE,  
 RUSHCUTTERS BAY, NSW, 2011

Scale  
 1:50 @ A3  
 Status  
 For Information

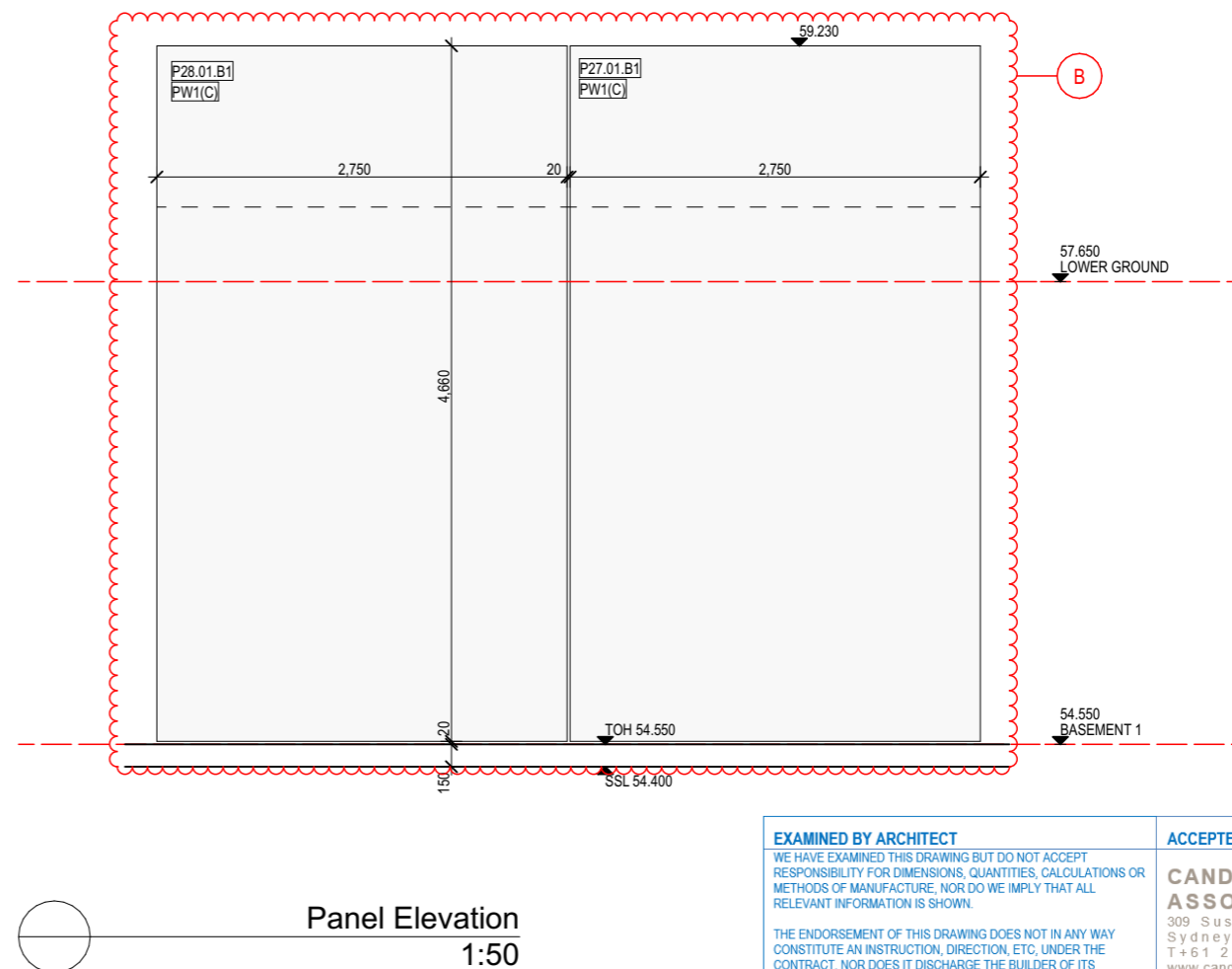
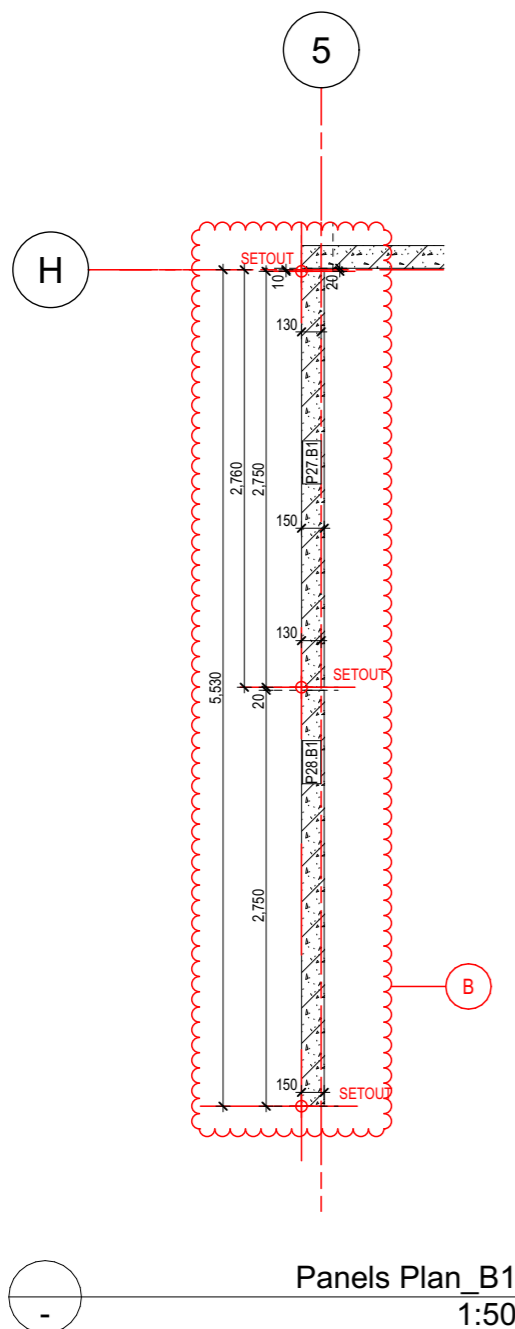
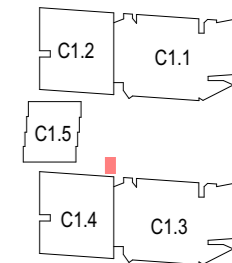
Project No.  
**21012**  
 Dwg No.  
**A-611-005**

Drawn by  
**KAD**  
 Rev  
**B**



PANEL No	STRUCT	FINISH
- P.27.B1	PW1	(C) PRECAST CONCRETE 'SAND'
- P.28.B1	PW1	(C) PRECAST CONCRETE 'SAND'

KEY PLAN - NTS



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THIS DRAWING IS RETURNED:	Date: 21/12/21 Job: 5800
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REVIEWED <input checked="" type="checkbox"/>	

Project Title  
**IVANHOE**  
 BUILDING C1, MIDTOWN ESTATE  
 HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.5**  
 Basement 1 - North - Sheet 6

Revision	Date	Details
A	17.11.21	For Information
B	23.11.21	Amendments as clouded

**PROBUILD**  
 85 McLACHLAN AVENUE,  
 RUSHCUTTERS BAY, NSW, 2011

Scale  
 1:50 @ A3  
 Status  
 For Information

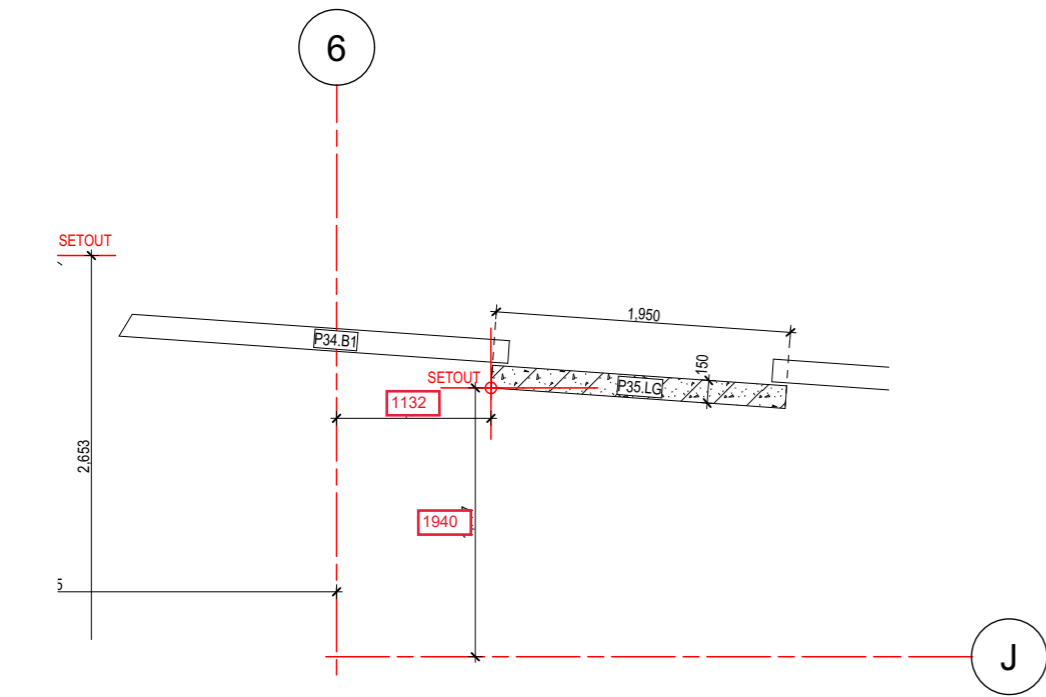
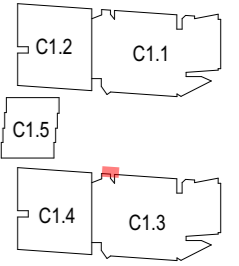
Project No. **21012**  
 Dwg No. **A-611-006**

Drawn by **KAD**  
 Rev **B**

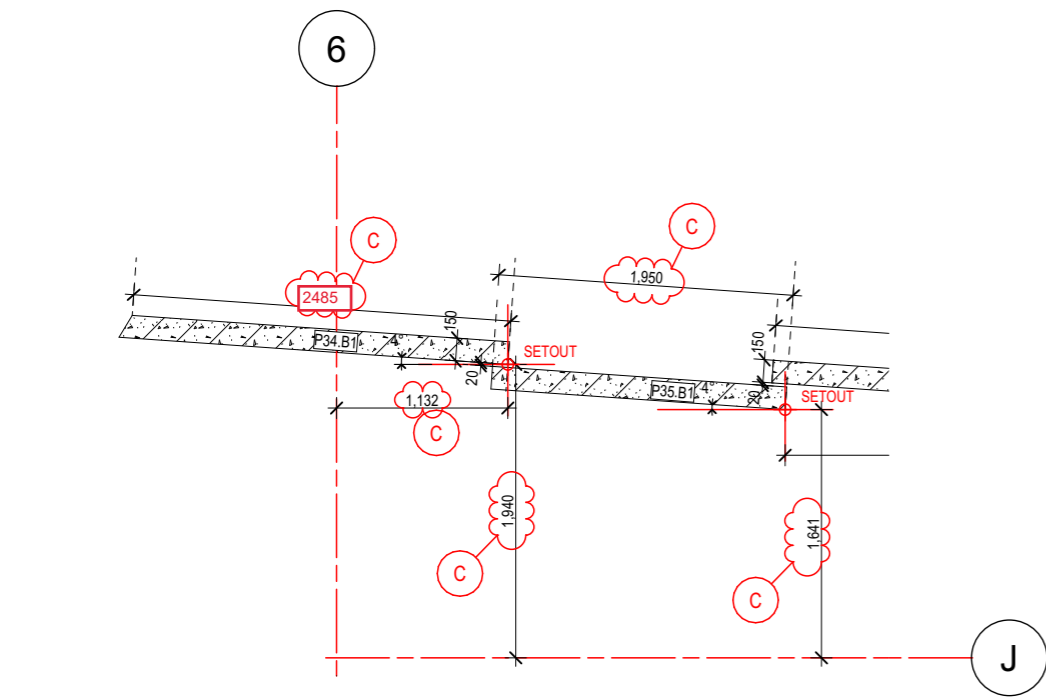


PANEL No	STRUCT	FINISH
- P.34.B1	PW1	(B) PRECAST CONCRETE 'PINK'
- P.35.B1	PW1	(A) PRECAST CONCRETE 'RAW' OR PAINTED
- P.35.LG	PW1	(A) PRECAST CONCRETE 'RAW' OR PAINTED

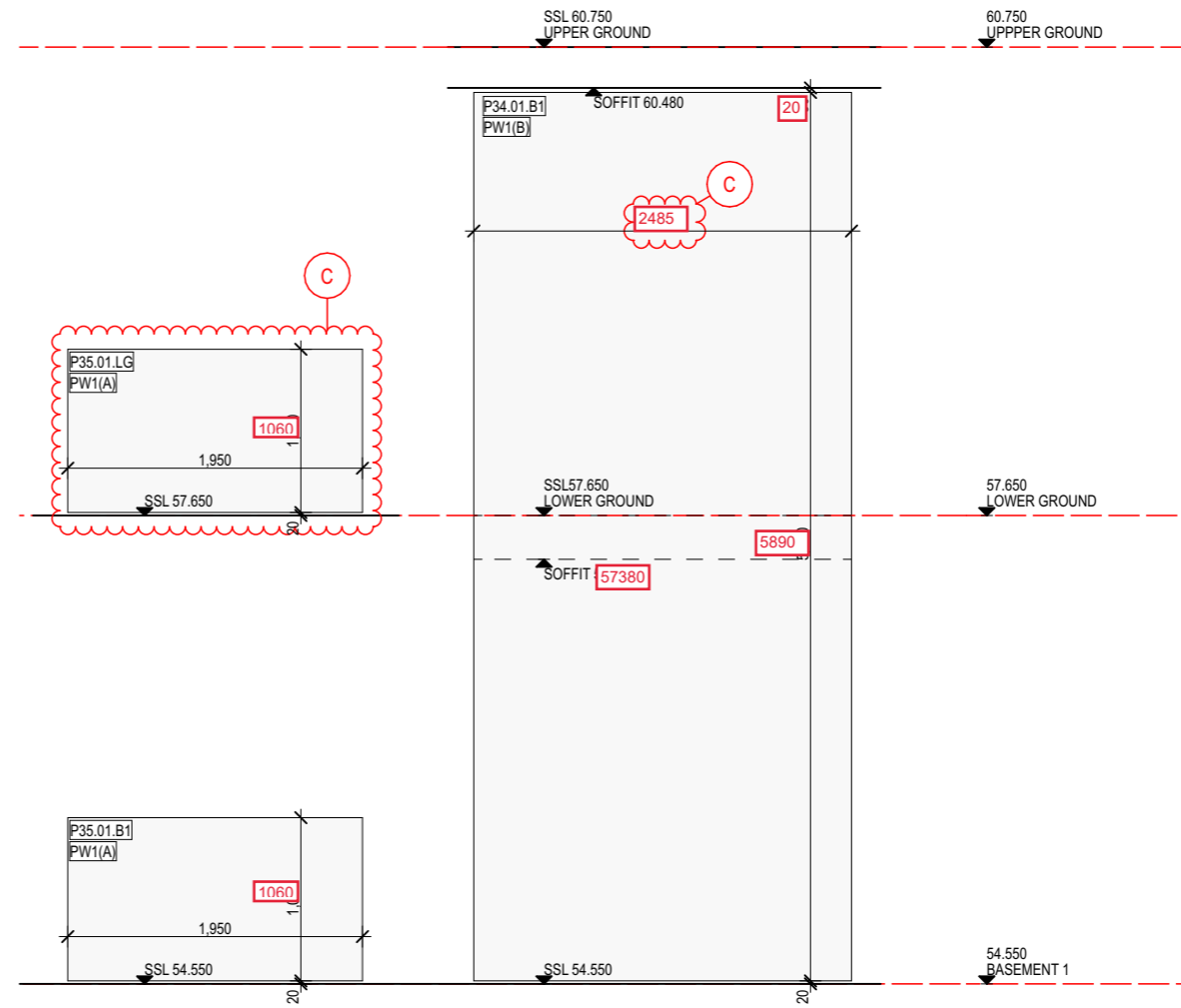
KEY PLAN - NTS



Panels Plan\_LG  
1:50



Panels Plan\_B1  
1:50



Panel Elevation  
1:50

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THIS DRAWING IS RETURNED:	Date: 21/12/21 Job: 5800
REVIEWED WITH NOTATIONS <input type="checkbox"/>	SIGNED:
REVIEWED <input checked="" type="checkbox"/>	

Project Title  
**IVANHOE**  
 BUILDING C1, MIDTOWN ESTATE  
 HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.3**  
 B1 & LG - West - Sheet 2

Revision	Date	Details
A	03.11.21	For Information
B	16.11.21	Amendments as clouded
C	25.11.21	Amendments as clouded

**PROBUILD**  
 85 McLACHLAN AVENUE,  
 RUSHCUTTERS BAY, NSW, 2011

Scale  
 1:50 @ A3  
 Status  
 For Information

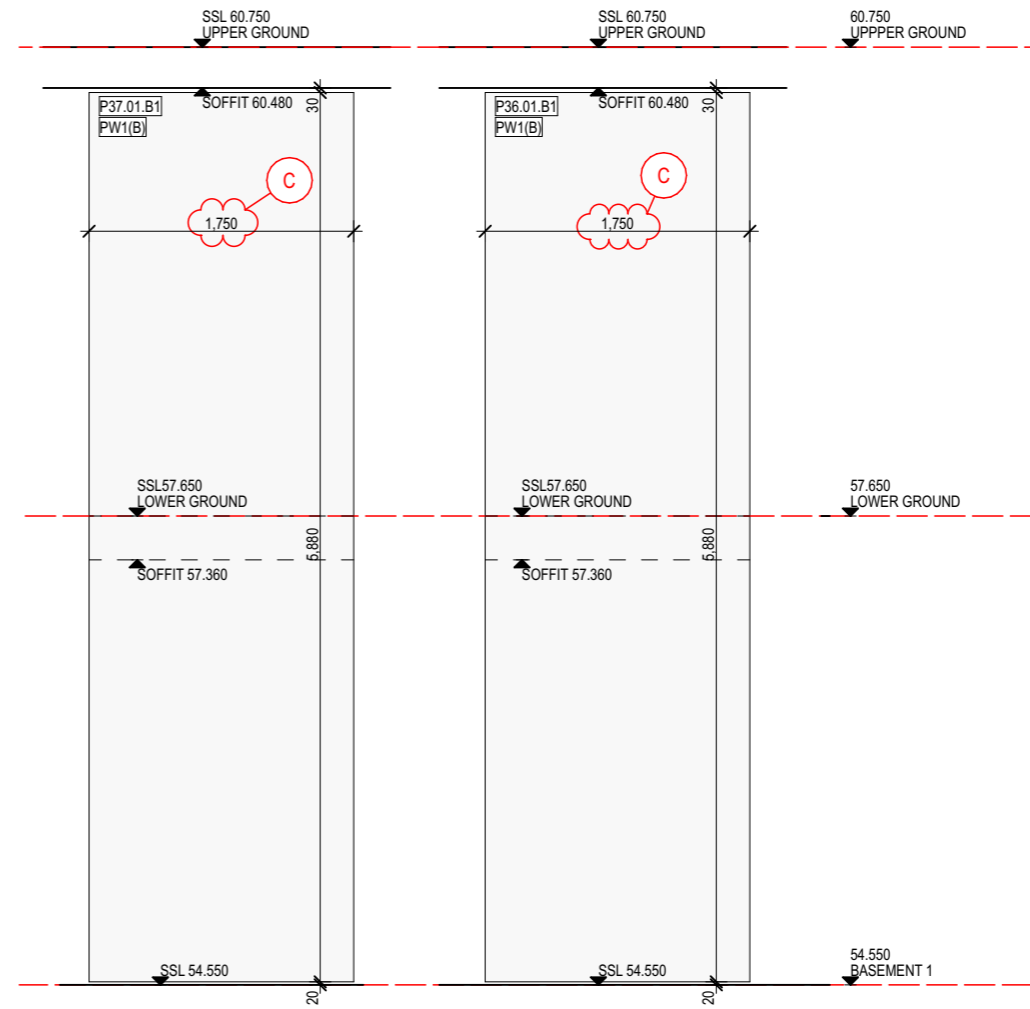
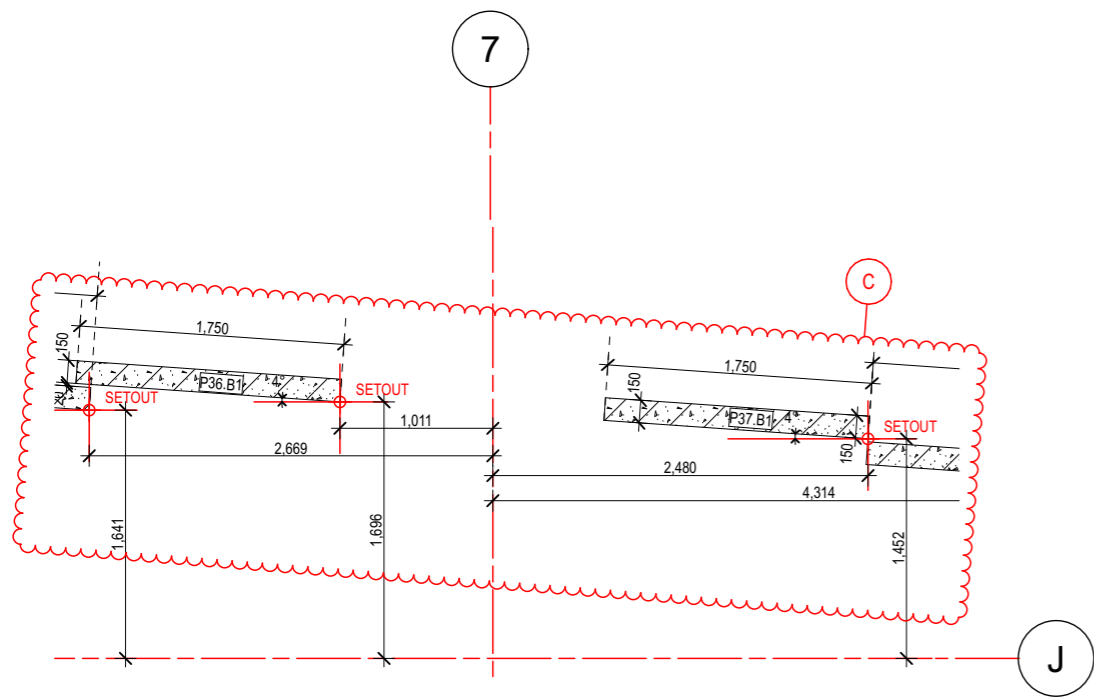
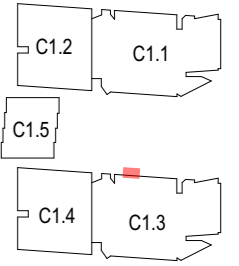
Project No. **21012**  
 Dwg No. **A-612-002**

Drawn by **KAD**  
 Rev **C**



PANEL No	STRUCT	FINISH
- P.36.B1	PW1	(B) PRECAST CONCRETE 'PINK'
- P.37.B1	PW1	(B) PRECAST CONCRETE 'PINK'

KEY PLAN - NTS



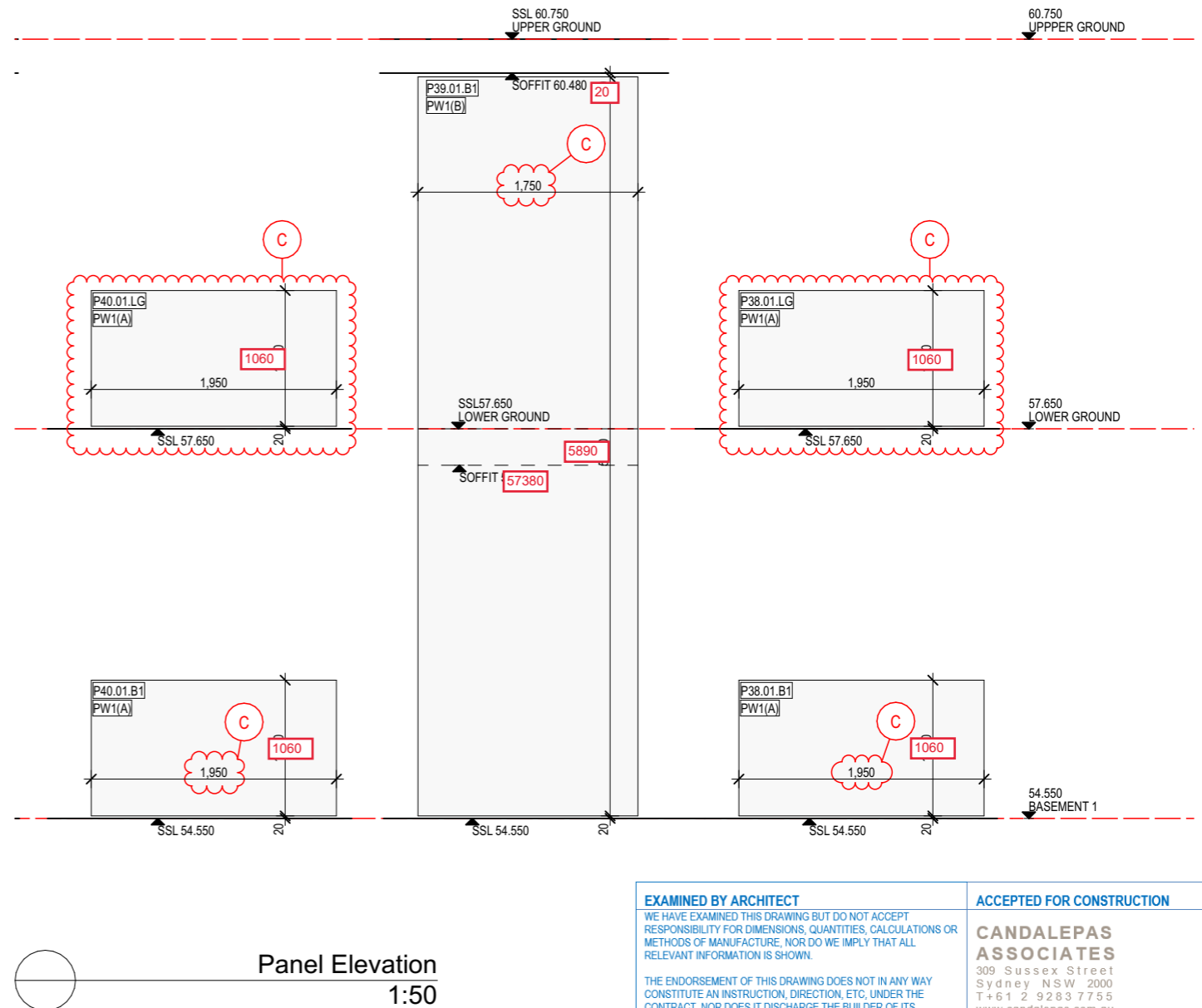
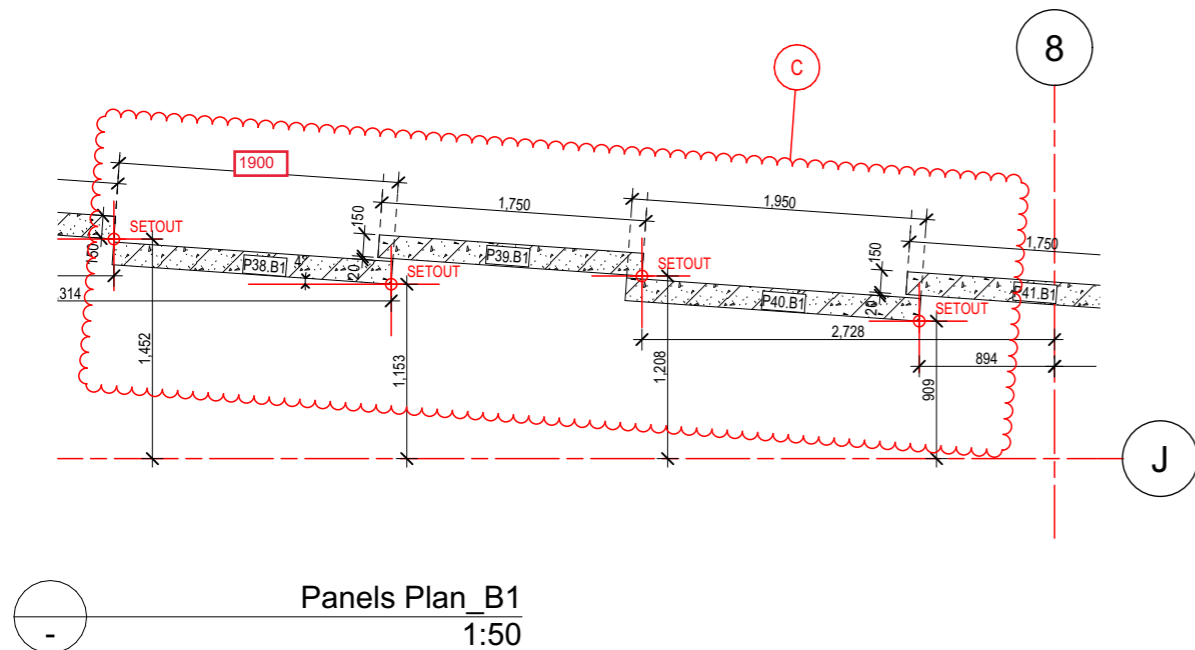
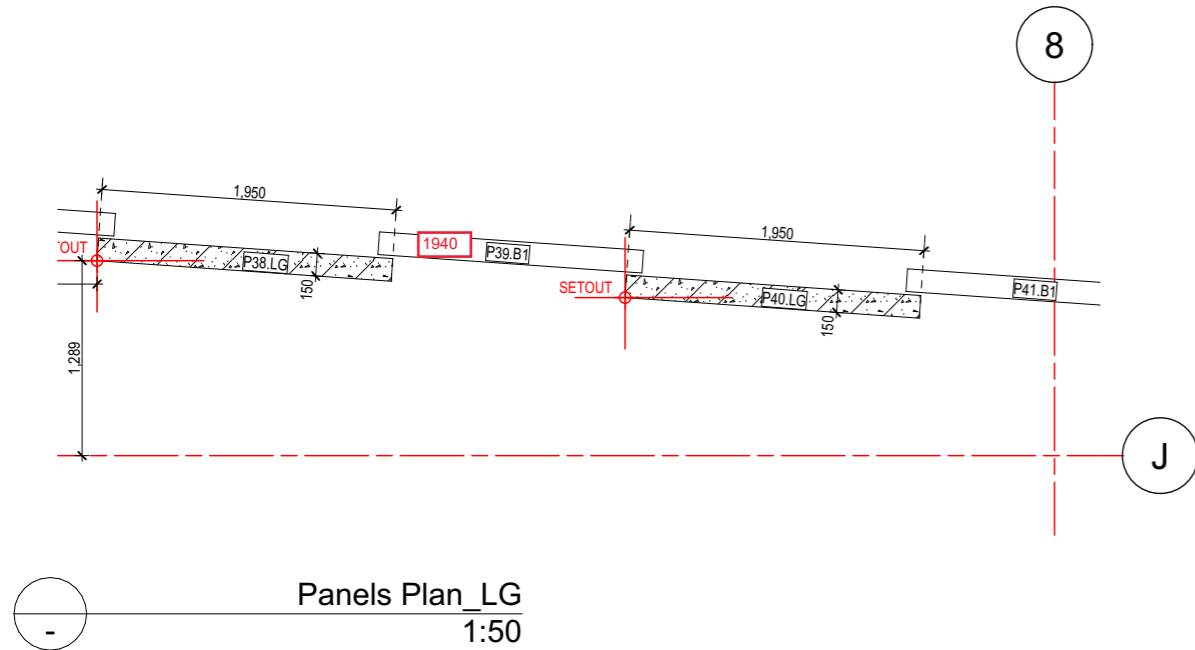
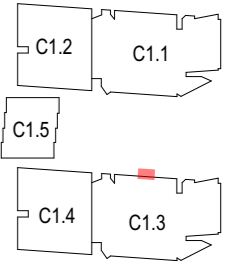
Panels Plan\_B1  
1:50

Panel Elevation  
1:50



PANEL No	STRUCT	FINISH
- P.38.B1	PW1	(A) PRECAST CONCRETE 'RAW' OR PAINTED
- P.38.LG	PW1	(A) PRECAST CONCRETE 'RAW' OR PAINTED
- P.39.B1	PW1	(B) PRECAST CONCRETE 'PINK'
- P.40.B1	PW1	(A) PRECAST CONCRETE 'RAW' OR PAINTED
- P.40.LG	PW1	(A) PRECAST CONCRETE 'RAW' OR PAINTED

KEY PLAN - NTS



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REVIEWED <input checked="" type="checkbox"/>	

Project Title  
**IVANHOE**  
BUILDING C1, MIDTOWN ESTATE  
HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.3**  
B1 & LG - West - Sheet 4

Revision	Date	Details
A	03.11.21	For Information
B	16.11.21	Amendments as clouded
C	25.11.21	Amendments as clouded

**PROBUILD**  
85 McLACHLAN AVENUE,  
RUSHCUTTERS BAY, NSW, 2011

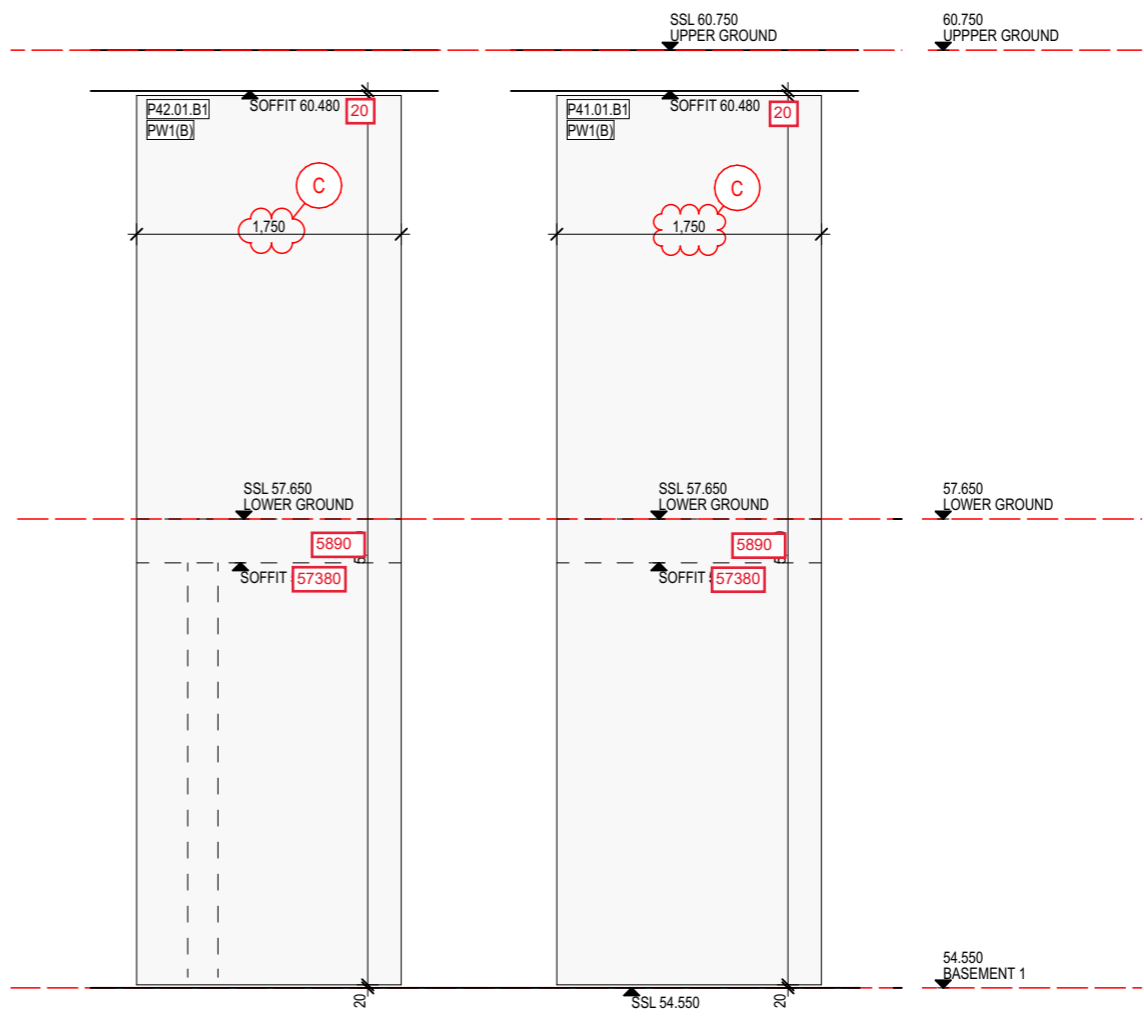
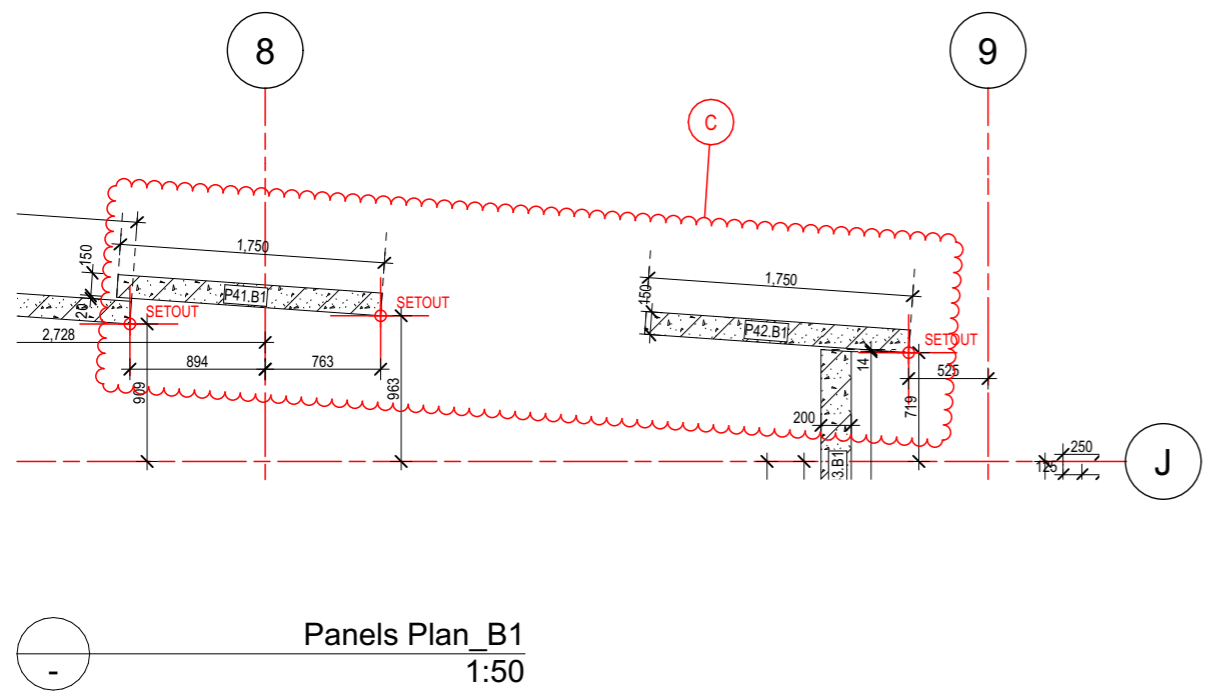
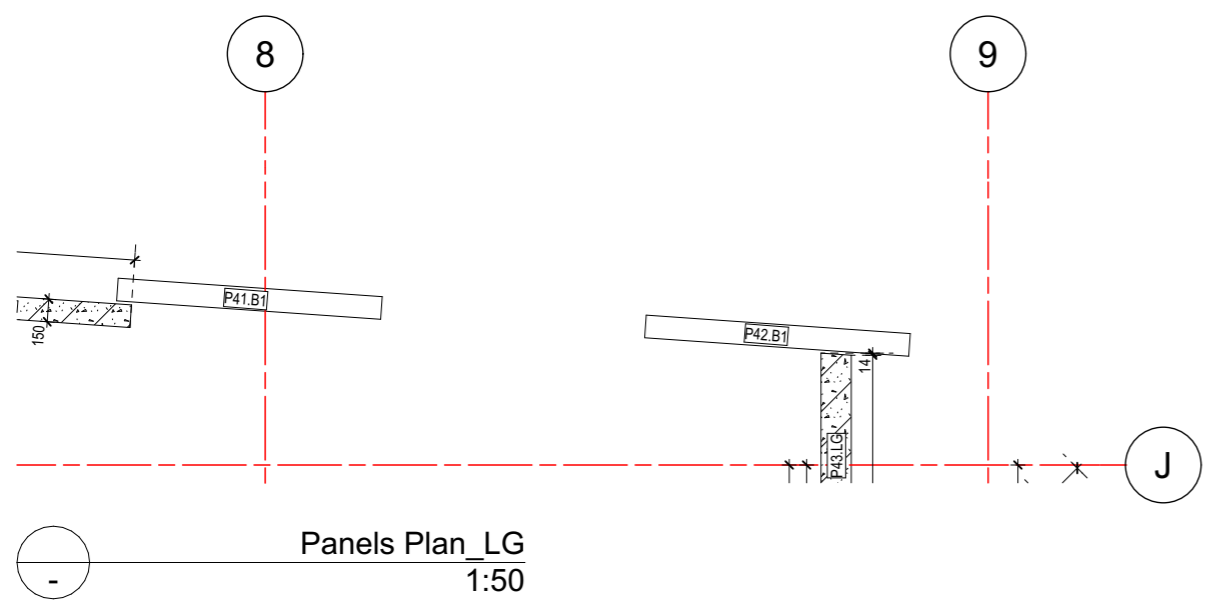
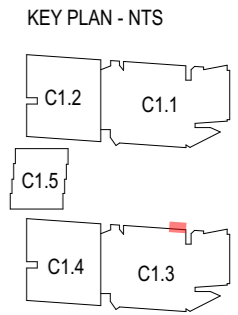
Scale  
1:50 @ A3  
Status  
For Information

Project No. **21012**  
Dwg No. **A-612-004**

Drawn by **KAD**  
Rev **C**



PANEL No	STRUCT	FINISH
- P.41.B1	PW1	(B) PRECAST CONCRETE 'PINK'
- P.42.B1	PW1	(B) PRECAST CONCRETE 'PINK'



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REVIEWED WITH NOTATIONS <input type="checkbox"/>	SIGNED:
REVIEWED <input checked="" type="checkbox"/>	

Project Title  
**IVANHOE**  
BUILDING C1, MIDTOWN ESTATE  
HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.3**  
Basement 1 - West - Sheet 5

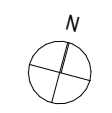
Revision	Date	Details
A	03.11.21	For Information
B	16.11.21	Amendments as clouded
C	25.11.21	Amendments as clouded

**PROBUILD**  
85 McLACHLAN AVENUE,  
RUSHCUTTERS BAY, NSW, 2011

Scale  
1:50 @ A3  
Status  
For Information

Project No. **21012**  
Dwg No. **A-612-005**

Drawn by **KAD**  
Rev **C**

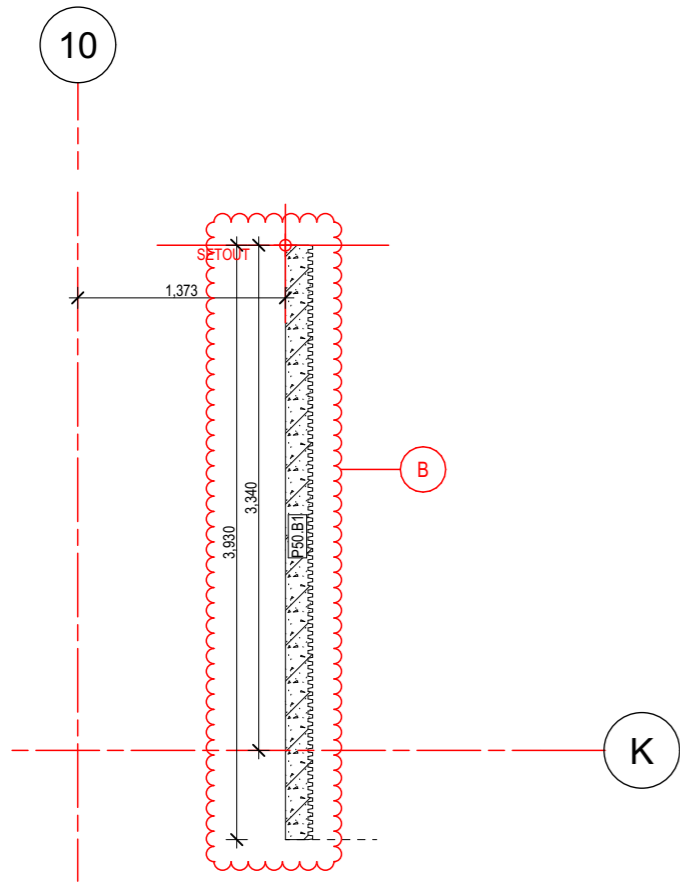
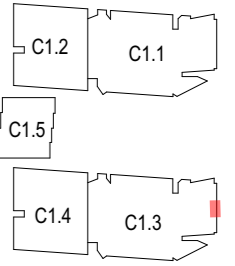


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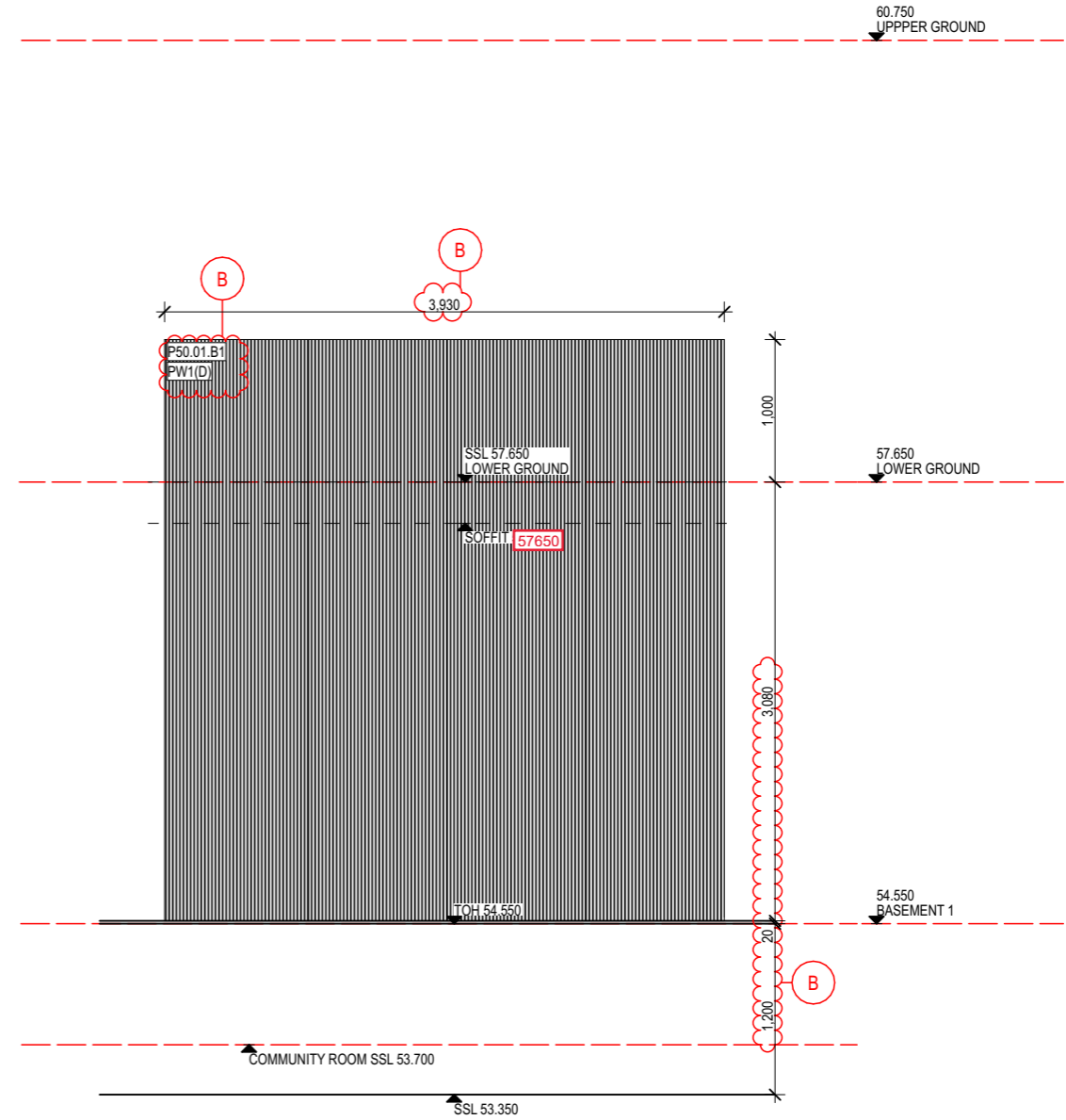
- P.50.B1 PW1 (D) PRECAST CONCRETE 'RAW' OR PAINTED
- P.50(2).B1 PW1 (A) PRECAST CONCRETE 'RAW' OR PAINTED
- P.50(3).B1 PW1 (A) PRECAST CONCRETE 'RAW' OR PAINTED
- P.50(4).B1 PW1 (A) PRECAST CONCRETE 'RAW' OR PAINTED

B

KEY PLAN - NTS



Panels Plan\_B1  
1:50



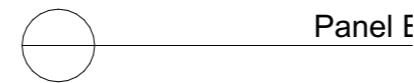
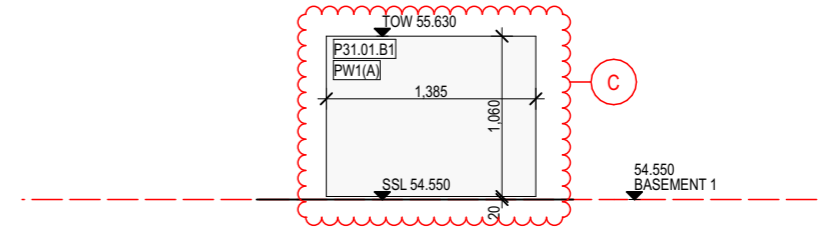
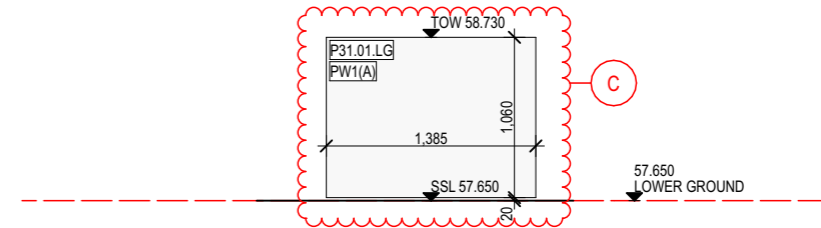
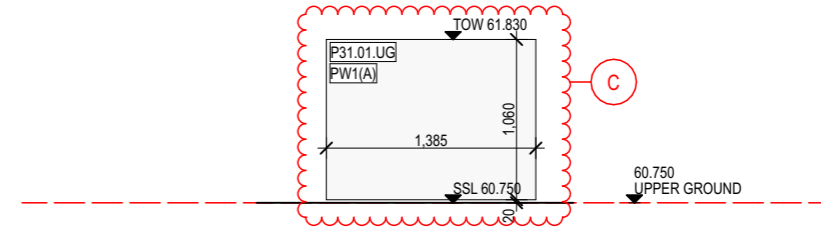
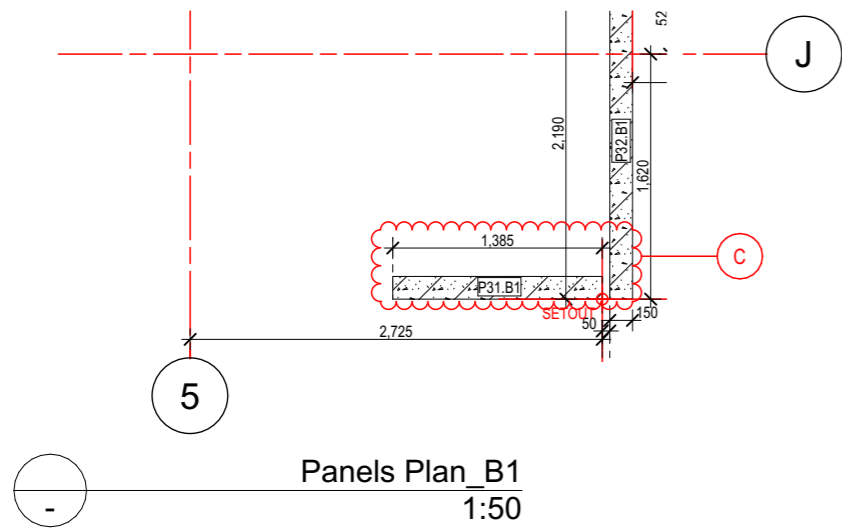
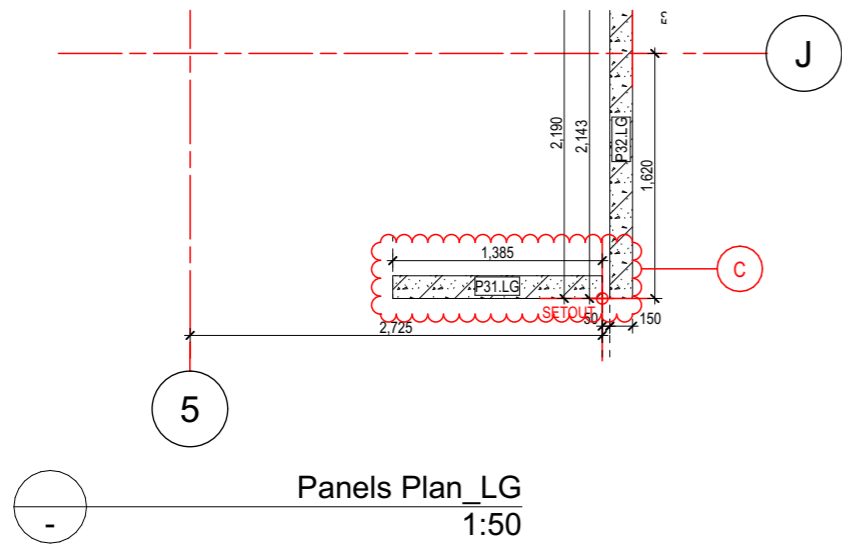
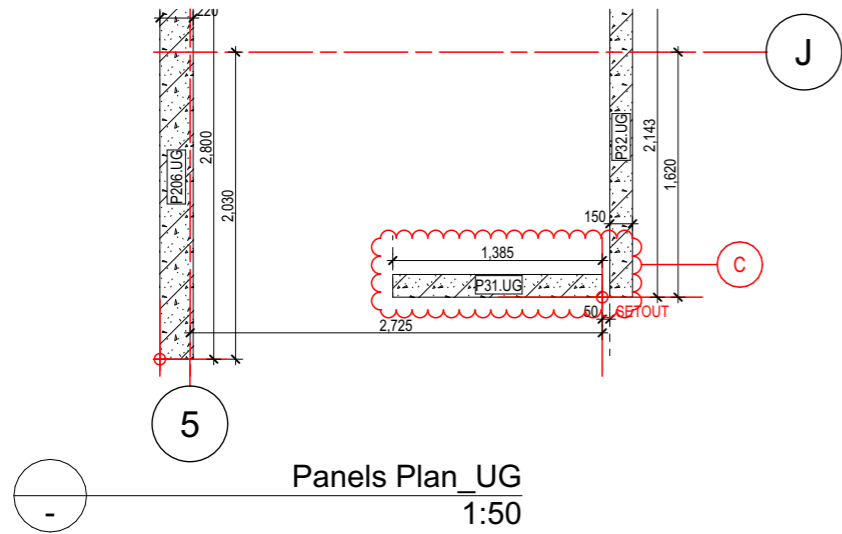
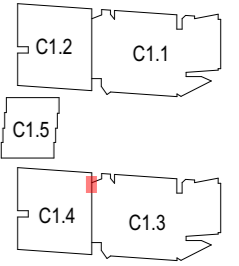
Panel Elevation  
1:50

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PANEL No	STRUCT	FINISH
- P.31.B1	PW1	(A) PRECAST CONCRETE 'RAW' OR PAINTED
- P.31.LG	PW1	(A) PRECAST CONCRETE 'RAW' OR PAINTED
- P.31.UG	PW1	(A) PRECAST CONCRETE 'RAW' OR PAINTED

KEY PLAN - NTS



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REVIEWED <input checked="" type="checkbox"/>	

Project Title  
**IVANHOE**  
 BUILDING C1, MIDTOWN ESTATE  
 HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.3**  
 B1 & LG & UG - West - Sheet 9

Revision	Date	Details
A	25.11.21	For Information
B	01.12.21	For Information
C	16.12.21	For Information

**PROBUILD**  
 85 McLACHLAN AVENUE,  
 RUSHCUTTERS BAY, NSW, 2011

Scale  
 1:50 @ A3  
 Status  
 For Information

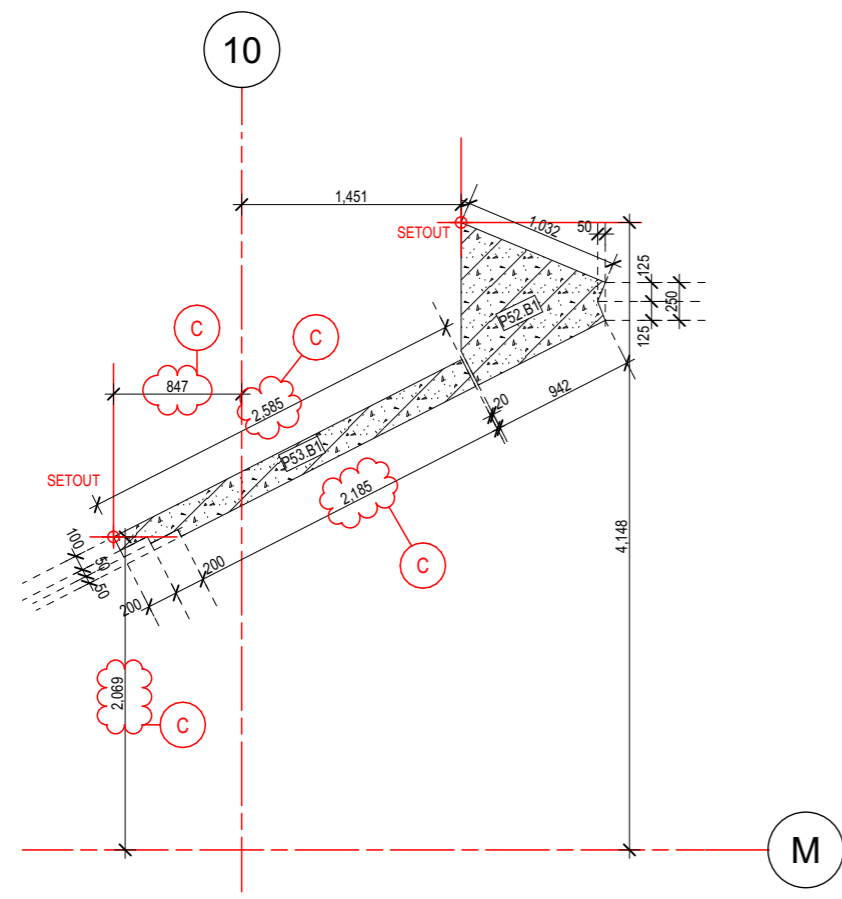
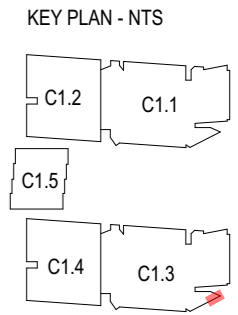
Project No.  
**21012**  
 Dwg No.  
**A-612-009**

Drawn by  
**KAD**  
 Rev  
**C**

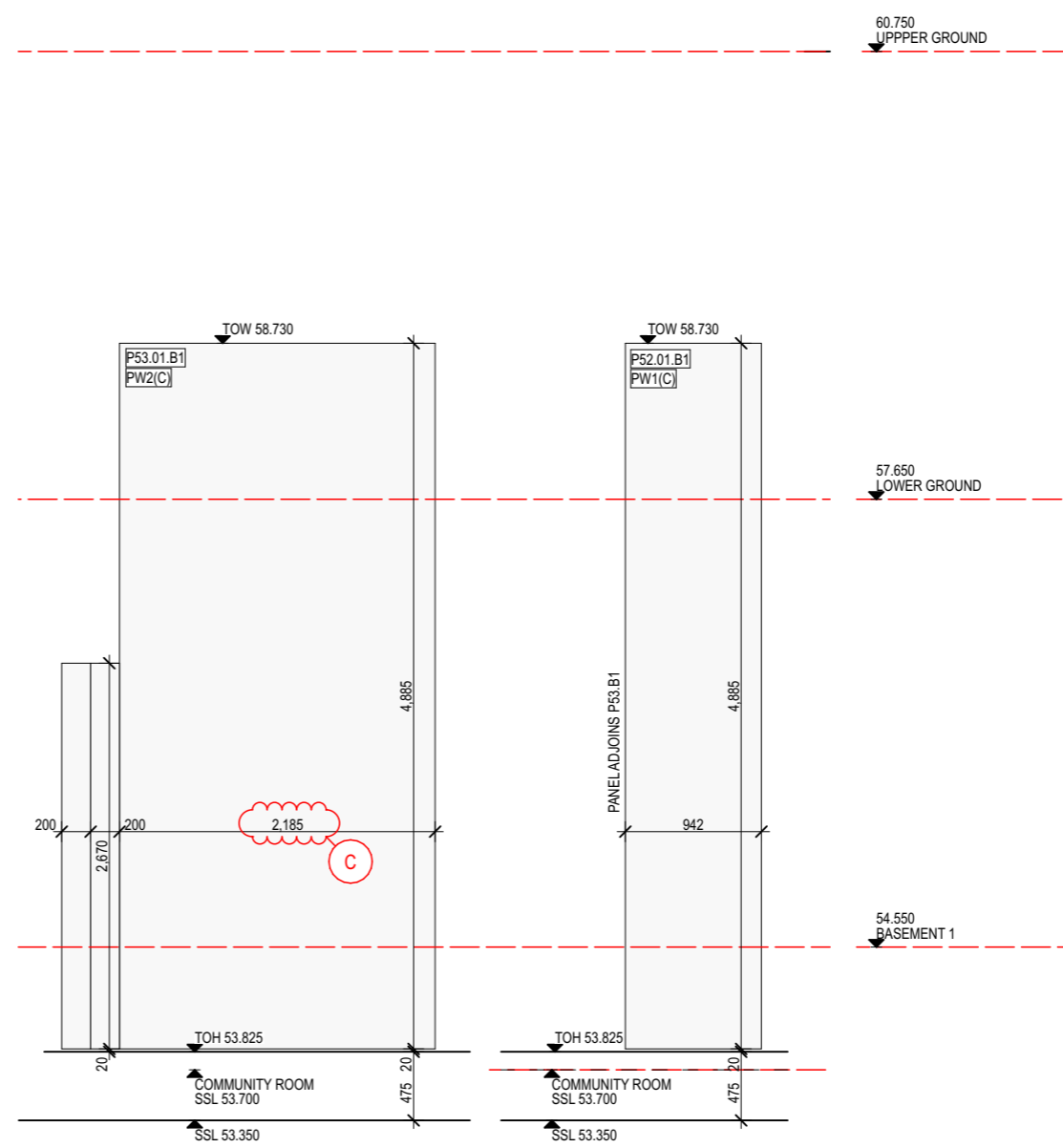




PANEL No	STRUCT	FINISH
- P.52.B1	PW1	(C) PRECAST CONCRETE 'SAND'
- P.53.B1	PW2	(C) PRECAST CONCRETE 'SAND'



Panels Plan B1  
1:50



Panel Elevation  
1:50

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THIS DRAWING IS RETURNED: <input type="checkbox"/>	Date: 21/12/21 Job: 5800
REVIEWED WITH NOTATIONS <input type="checkbox"/>	SIGNED:
REVIEWED <input checked="" type="checkbox"/>	

Project Title  
**IVANHOE**  
 BUILDING C1, MIDTOWN ESTATE  
 HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.3**  
 Basement 1 - East - Sheet 1

Revision	Date	Details
A	03.11.21	For Information
B	16.11.21	Amendments as clouded
C	07.12.21	Amendments as clouded

**PROBUILD**  
 85 McLACHLAN AVENUE,  
 RUSHCUTTERS BAY, NSW, 2011

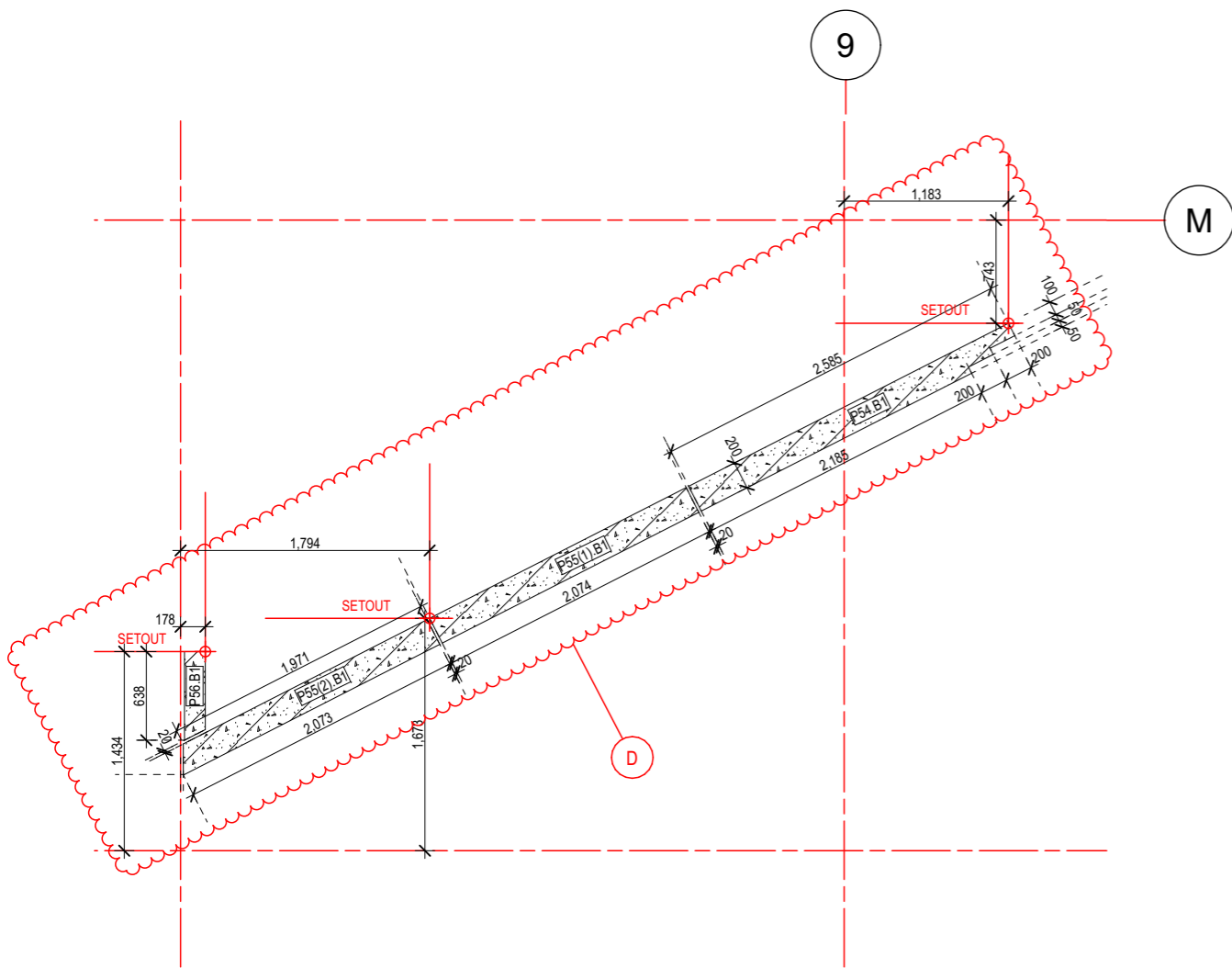
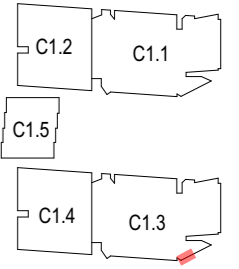
Scale  
 1:50 @ A3  
 Status  
 For Information

Project No.  
**21012**  
 Dwg No.  
**A-612-201**

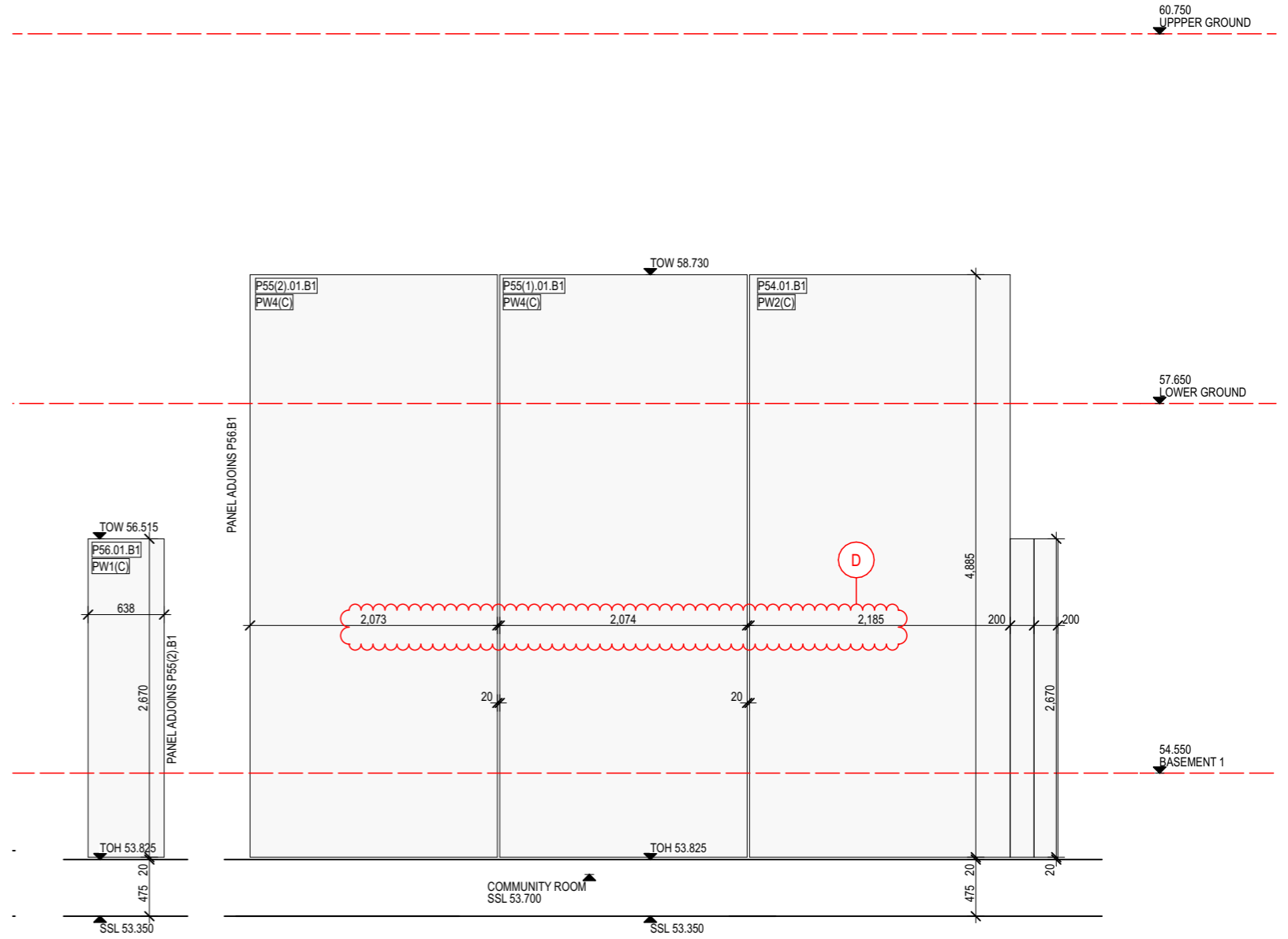
Drawn by  
**KAD**  
 Rev  
**C**

PANEL No	STRUCT	FINISH
- P.54.B1	PW2	(C) PRECAST CONCRETE 'SAND'
- P.55(1).B1	PW2	(C) PRECAST CONCRETE 'SAND'
- P.55(2).B1	PW2	(C) PRECAST CONCRETE 'SAND'
- P.56.B1	PW1	(C) PRECAST CONCRETE 'SAND'

KEY PLAN - NTS



Panels Plan B1  
1:50



Panel Elevation  
1:50

<b>EXAMINED BY ARCHITECT</b> WE HAVE EXAMINED THIS DRAWING BUT DO NOT ACCEPT RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, CALCULATIONS OR METHODS OF MANUFACTURE, NOR DO WE IMPLY THAT ALL RELEVANT INFORMATION IS SHOWN.	<b>ACCEPTED FOR CONSTRUCTION</b>
THE ENDORSEMENT OF THIS DRAWING DOES NOT IN ANY WAY CONSTITUTE AN INSTRUCTION, DIRECTION, ETC. UNDER THE CONTRACT, NOR DOES IT DISCHARGE THE BUILDER OF ITS RESPONSIBILITIES UNDER THE CONTRACT.	<b>CANDELEPAS ASSOCIATES</b> 309 Sussex Street Sydney NSW 2000 T +61 2 9283 7755 www.candelepaspas.com.au NSW ARCHITECTS REG No. 5773
THIS DRAWING IS RETURNED:	Date: 21/12/21 Job: 5800
REVIEWED WITH NOTATIONS <input type="checkbox"/>	SIGNED:
REVIEWED <input checked="" type="checkbox"/>	

Project Title  
**IVANHOE**  
BUILDING C1, MIDTOWN ESTATE  
HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.3**  
Basement 1 - East - Sheet 2

Revision	Date	Details
A	03.11.21	For Information
B	05.11.21	For Information
C	16.11.21	Amendments as clouded
D	07.12.21	Amendments as clouded

**PROBUILD**  
85 McLACHLAN AVENUE,  
RUSHCUTTERS BAY, NSW, 2011

Scale  
1:50 @ A3  
Status  
For Information

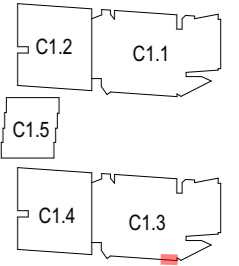
Project No. **21012**  
Dwg No. **A-612-202**

Drawn by **KAD**  
Rev **D**

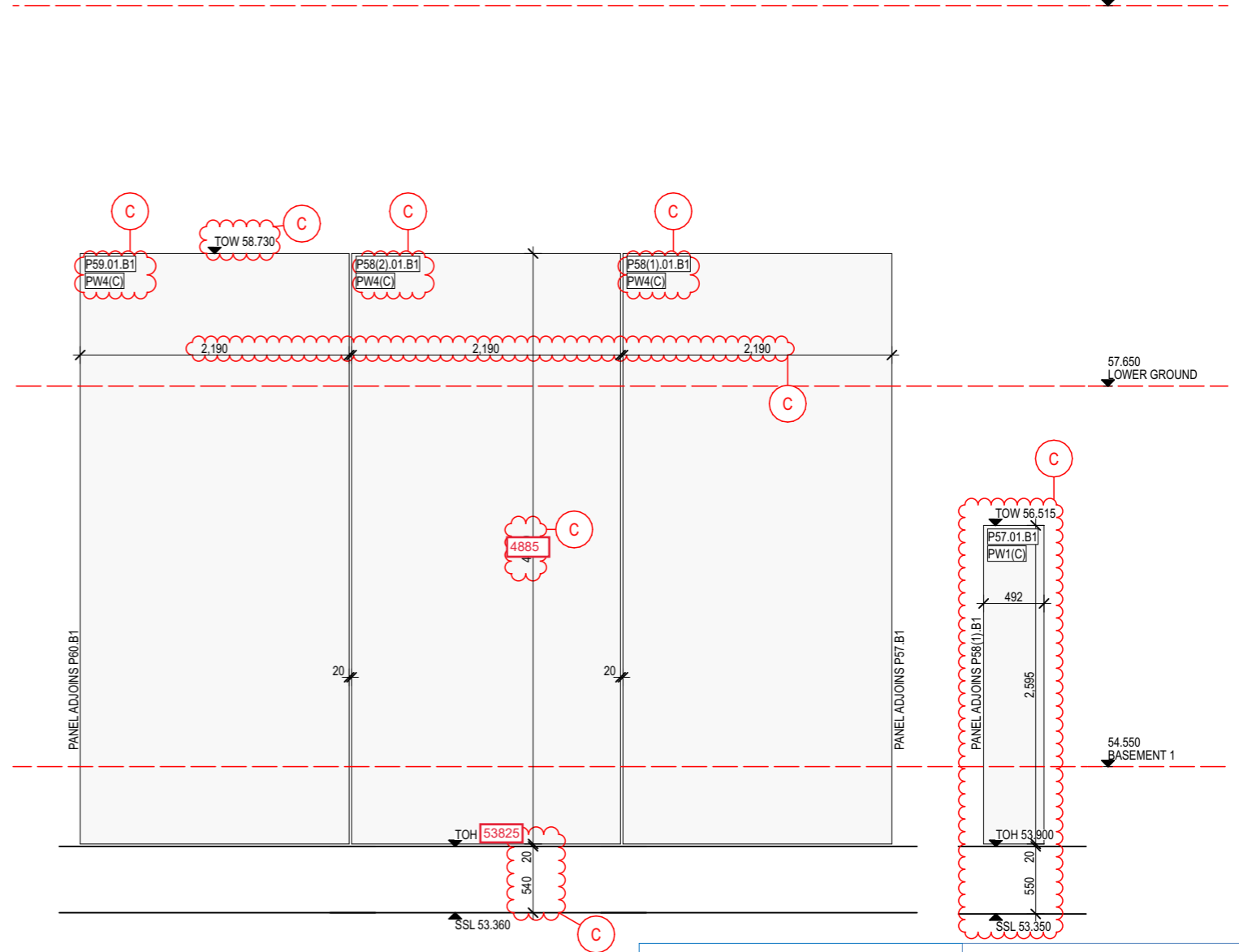


PANEL No	STRUCT	FINISH
- P.57.B1	PW1	(C) PRECAST CONCRETE 'SAND'
- P.58(1).B1	PW4	(C) PRECAST CONCRETE 'SAND'
- P.58(2).B1	PW4	(C) PRECAST CONCRETE 'SAND'
- P.59.B1	PW4	(C) PRECAST CONCRETE 'SAND'

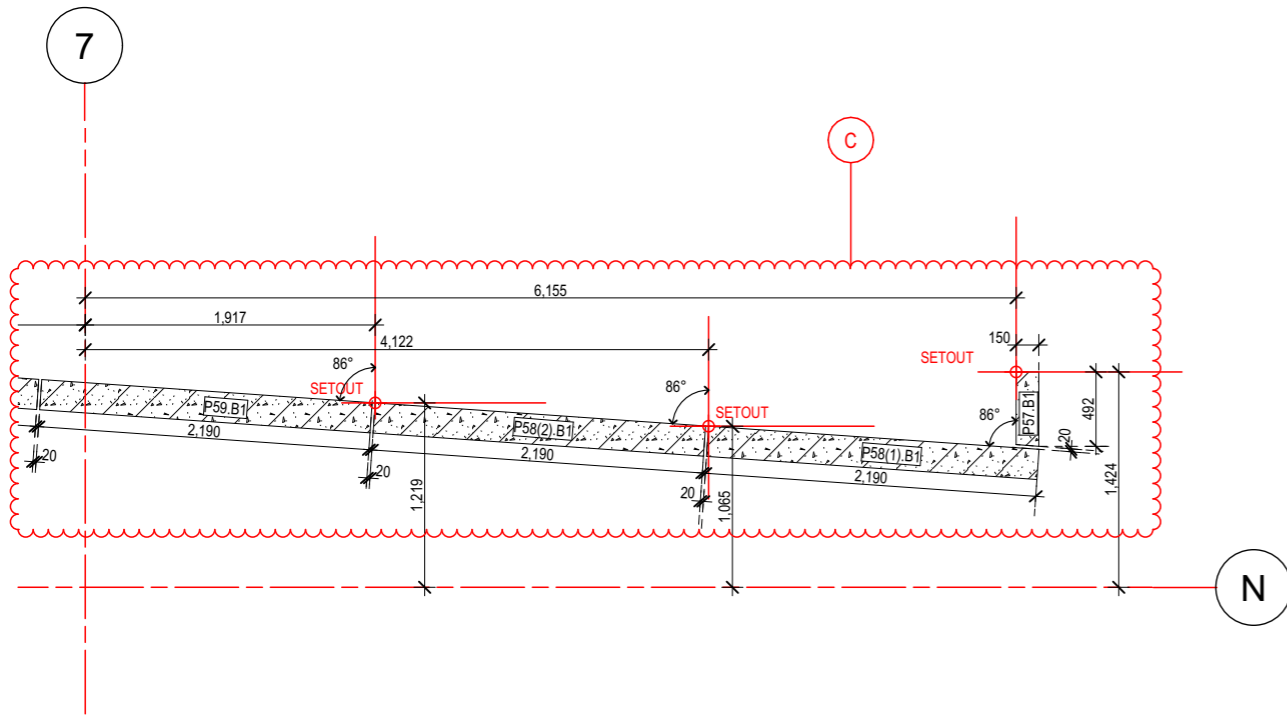
KEY PLAN - NTS



60.750  
UPPER GROUND



Panel Elevation  
1:50



Panels Plan B1  
1:50

EXAMINED BY ARCHITECT	ACCEPTED FOR CONSTRUCTION
WE HAVE EXAMINED THIS DRAWING BUT DO NOT ACCEPT RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, CALCULATIONS OR METHODS OF MANUFACTURE, NOR DO WE IMPLY THAT ALL RELEVANT INFORMATION IS SHOWN.	<b>CANDELEPAS ASSOCIATES</b> 309 Sussex Street Sydney NSW 2000 T+61 2 9283 7755 www.candelepaspas.com.au NSW ARCHITECTS REG No. 5773
THE ENDORSEMENT OF THIS DRAWING DOES NOT IN ANY WAY CONSTITUTE AN INSTRUCTION, DIRECTION, ETC. UNDER THE CONTRACT, NOR DOES IT DISCHARGE THE BUILDER OF ITS RESPONSIBILITIES UNDER THE CONTRACT.	Date: 21/12/21 Job: 5800
THIS DRAWING IS RETURNED:	SIGNED:
REVIEWED WITH NOTATIONS <input type="checkbox"/>	
REVIEWED <input checked="" type="checkbox"/>	

Project Title  
**IVANHOE**  
BUILDING C1, MIDTOWN ESTATE  
HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.3**  
Basement 1 - East - Sheet 3

Revision	Date	Details
A	03.11.21	For Information
B	05.11.21	For Information
C	16.11.21	Amendments as clouded

**PROBUILD**  
85 McLACHLAN AVENUE,  
RUSHCUTTERS BAY, NSW, 2011

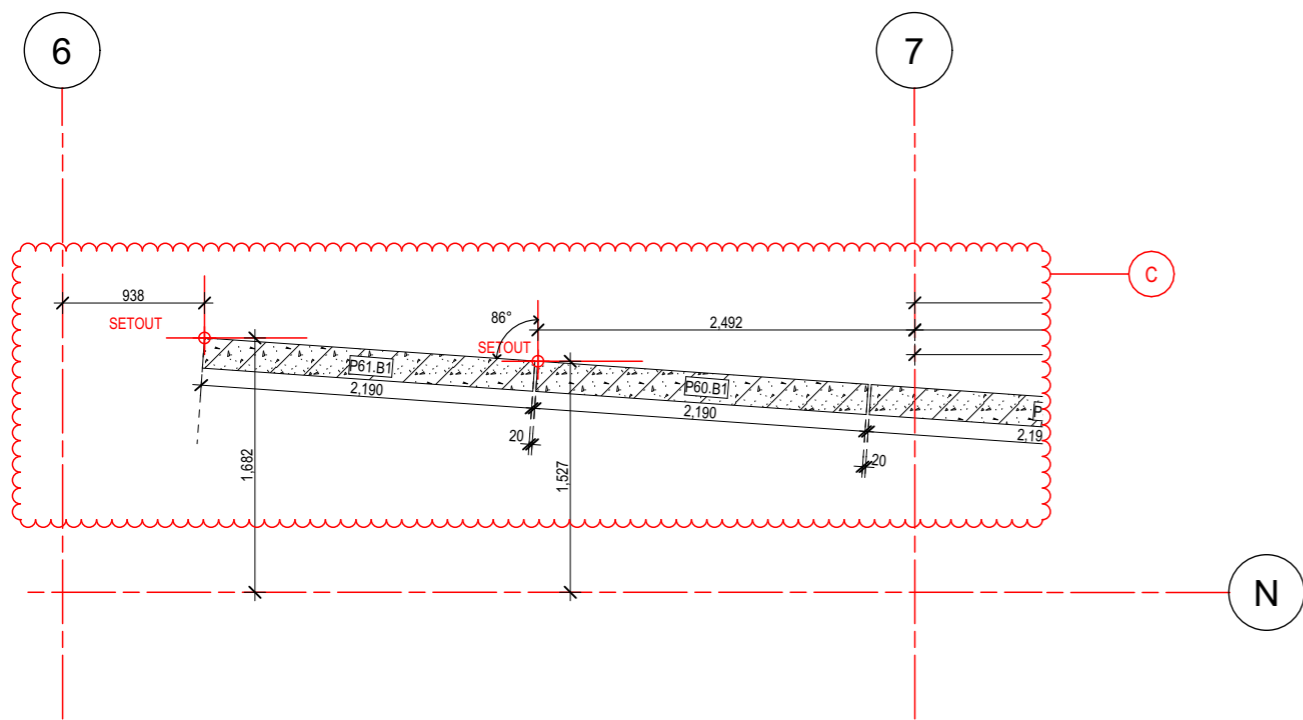
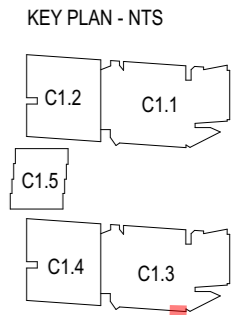
Scale  
1:50 @ A3  
Status  
For Information

Project No.  
**21012**  
Dwg No.  
**A-612-203**

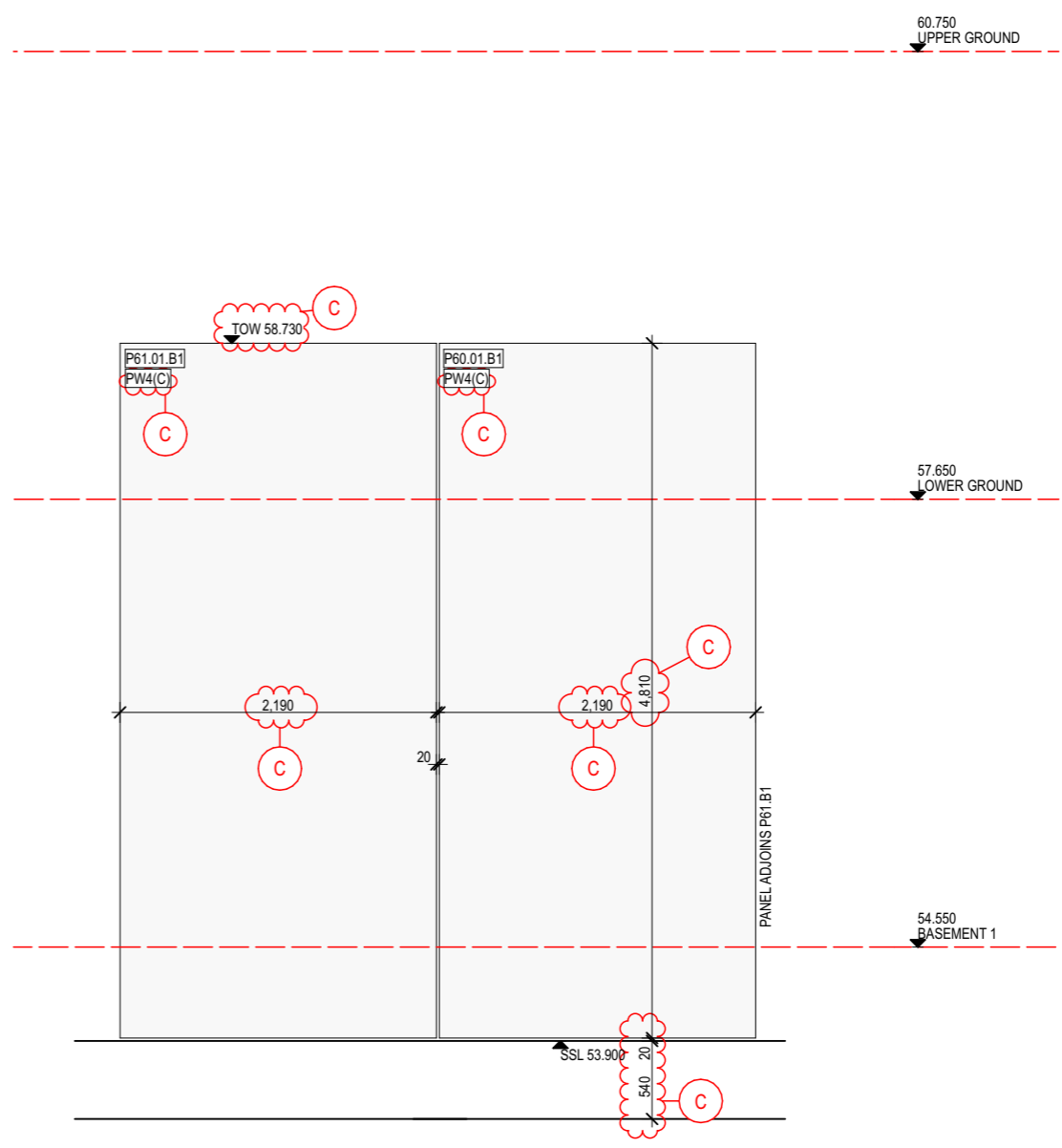
Drawn by  
**KAD**  
Rev  
**C**



PANEL No	STRUCT	FINISH
- P.60.B1	PW1	(C) PRECAST CONCRETE 'SAND'
- P.61.B1	PW1	(C) PRECAST CONCRETE 'SAND'



Panels Plan B1  
1:50



Panel Elevation  
1:50

EXAMINED BY ARCHITECT	ACCEPTED FOR CONSTRUCTION
WE HAVE EXAMINED THIS DRAWING BUT DO NOT ACCEPT RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, CALCULATIONS OR METHODS OF MANUFACTURE, NOR DO WE IMPLY THAT ALL RELEVANT INFORMATION IS SHOWN.	<b>CANDELEPAS ASSOCIATES</b> 309 Sussex Street Sydney NSW 2000 T +61 2 9283 7755 www.candelepaspas.com.au NSW ARCHITECTS REG No. 5773
THE ENDORSEMENT OF THIS DRAWING DOES NOT IN ANY WAY CONSTITUTE AN INSTRUCTION, DIRECTION, ETC. UNDER THE CONTRACT, NOR DOES IT DISCHARGE THE BUILDER OF ITS RESPONSIBILITIES UNDER THE CONTRACT.	
THIS DRAWING IS RETURNED:	Date: 21/12/21 Job: 5800
REVIEWED WITH NOTATIONS <input type="checkbox"/>	
REVIEWED <input checked="" type="checkbox"/>	SIGNED:

Project Title  
**IVANHOE**  
BUILDING C1, MIDTOWN ESTATE  
HERRING ROAD, MACQUARIE PARK

Drawing Title  
**Precast Setouts C1.3**  
Basement 1 - East - Sheet 4

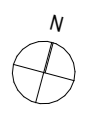
Revision	Date	Details
A	03.11.21	For Information
B	16.11.21	Amendments as clouded
C	16.11.21	Amendments as clouded

**PROBUILD**  
85 McLACHLAN AVENUE,  
RUSHCUTTERS BAY, NSW, 2011

Scale  
1:50 @ A3  
Status  
For Information

Project No.  
**21012**  
Dwg No.  
**A-612-204**

Drawn by  
**KAD**  
Rev  
**C**



# Design Compliance Declaration— multiple regulated designs

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## Instructions for completing this form

You must complete all Parts of this form.

This form is for multiple regulated designs, and the details must be given in Part 2 of this form in relation to each regulated design to which this form applies.

Where this form requires you to summarise information on which you intend to rely to support your answer, you must describe that information in sufficient detail for the Secretary to fully understand the basis of your answer.

Where this form indicates that material must be attached to the form, you must number each attachment sequentially and identify the number of that attachment in the relevant answer.

The drawing title, number and variation should correspond with the detail in the title block for the design to which this declaration relates.

---

## Part 1. Details

For registered body corporates, give full names of the registered individuals and the corporation on behalf of which the declaration is made.

Design Practitioner name

Body corporate name (if applicable)

Registration number of Design Practitioner signing

Registration number of body corporate (if applicable)

ABN/ACN

Phone

Email address

**Drawing title**

**Drawing number**

**Variation number**

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## Part 2. Declaration matters

I, \_\_\_\_\_, \_\_\_\_\_,  
Name

Title \_\_\_\_\_ acting on behalf of Corporation Name (if relevant)

have prepared the attached regulated designs.

I declare:

1. Each regulated design for which this design compliance declaration is being made complies with the requirements of the *Building Code of Australia*.

Yes No

2. Each regulated design for which this design compliance declaration is being made integrates details of other aspects of building work to which the design relates, and other regulated designs for the work, in order to achieve compliance with the *Building Code of Australia*.

Yes No

If yes, provide details or attach information about the other regulated designs that have been integrated into the regulated design for which this design compliance declaration is being made.

3. Other standards, codes or requirements have been applied in preparing one or more of the regulated designs.

Yes No

If yes, provide details or attach information about the standards, codes or requirements that have been applied.

4. A building product referred to in each regulated design would, if used in a manner consistent with the design, achieve compliance with the *Building Code of Australia*.

Yes No

If yes, describe or attach information about how the building product would achieve compliance with the *Building Code of Australia*, including the relevant provisions of the *Building Code of Australia*.

5. I have sought and considered specialist advice in preparing each regulated design.

Yes                  No

If yes, provide the name and contact details of the person who provided you with the specialist advice.

6. The regulated designs involve a performance solution.

Yes                  No

If yes, provide details of the performance solution and the name and contact details of the person who prepared the performance solution report if this declaration is not for the report.

7. Each regulated design accords with the *Regulated Design Guidance Material* relevant to the design.

Yes                  No

### Part 3. Signature

Signature

Title

Date

This form relates to obligations under the *Design and Building Practitioners Act 2020* and supporting Regulation. For more information visit the NSW Fair Trading website:

[www.fairtrading.nsw.gov.au/housing-and-property/changes-to-class-2-buildings](http://www.fairtrading.nsw.gov.au/housing-and-property/changes-to-class-2-buildings)

# Design Compliance Declaration— multiple regulated designs

---

## Instructions for completing this form

You must complete all Parts of this form.

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Where this form indicates that material must be attached to the form, you must number each attachment sequentially and identify the number of that attachment in the relevant answer.

The drawing title, number and variation should correspond with the detail in the title block for the design to which this declaration relates.

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For registered body corporates, give full names of the registered individuals and the corporation on behalf of which the declaration is made.

Design Practitioner name

Body corporate name (if applicable)

Registration number of Design Practitioner signing

Registration number of body corporate (if applicable)

ABN/ACN

Phone

Email address

**Drawing title**

**Drawing number**

**Variation number**

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## Part 2. Declaration matters

I, \_\_\_\_\_, \_\_\_\_\_,  
Name

Title \_\_\_\_\_ acting on behalf of Corporation Name (if relevant)

have prepared the attached regulated designs.

I declare:

1. Each regulated design for which this design compliance declaration is being made complies with the requirements of the *Building Code of Australia*.

Yes No

2. Each regulated design for which this design compliance declaration is being made integrates details of other aspects of building work to which the design relates, and other regulated designs for the work, in order to achieve compliance with the *Building Code of Australia*.

Yes No

If yes, provide details or attach information about the other regulated designs that have been integrated into the regulated design for which this design compliance declaration is being made.

3. Other standards, codes or requirements have been applied in preparing one or more of the regulated designs.

Yes No

If yes, provide details or attach information about the standards, codes or requirements that have been applied.

4. A building product referred to in each regulated design would, if used in a manner consistent with the design, achieve compliance with the *Building Code of Australia*.

Yes No

If yes, describe or attach information about how the building product would achieve compliance with the *Building Code of Australia*, including the relevant provisions of the *Building Code of Australia*.

5. I have sought and considered specialist advice in preparing each regulated design.

Yes                      No

If yes, provide the name and contact details of the person who provided you with the specialist advice.

6. The regulated designs involve a performance solution.

Yes                      No

If yes, provide details of the performance solution and the name and contact details of the person who prepared the performance solution report if this declaration is not for the report.

7. Each regulated design accords with the *Regulated Design Guidance Material* relevant to the design.

Yes                      No

### Part 3. Signature

Signature

Title

Date

This form relates to obligations under the *Design and Building Practitioners Act 2020* and supporting Regulation. For more information visit the NSW Fair Trading website:

[www.fairtrading.nsw.gov.au/housing-and-property/changes-to-class-2-buildings](http://www.fairtrading.nsw.gov.au/housing-and-property/changes-to-class-2-buildings)

Our Ref: SY210-098  
Enquiries to: AA



23 December 2021

Probuild  
85 McLachlan Ave  
RUSHCUTTERS BAY, NSW 2011

**Attention: Mr Jonathon Tuer**

**RE: IVANHOE C1  
STRUCTURAL DESIGN CERTIFICATE – CC3B**

This is to confirm that our company has carried out structural design of the above project, as documented on the following drawings prepared by us:

- Refer to attached transmittal

We certify that the structural design, as documented on the above-mentioned drawings, is in accordance with accepted engineering practice and is in accordance with the relevant provisions of the following:

- The Building Code of Australia (Volume One) 2019- Amendment one.
- Relevant Australian Standards:
  - AS1170.0-2002
  - AS1170.1-2002
  - AS1170.2-2011
  - AS1170.4-2007
  - AS3600-2018

The structural design is carried out based on the Geotechnical Report No. 86043.01.R.001.Rev1.Greater prepared by Douglas Partners Pty Ltd dated 30 July 2018.

I am a Professional Engineer with appropriate experience and competence in this field.

Yours faithfully  
**van der Meer Consulting**

A handwritten signature in black ink, appearing to read 'Ashkan Afnani Esfandabadi'.

**Ashkan Afnani Esfandabadi**  
Associate- Structural  
BSc. MSc. PhD, CPEng, NER  
NER Registration No. 4199838  
Design Practitioner Registration No. DEP0001118

Encl: Transmittal

**BRISBANE**  
Level 8, 757 Ann Street  
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P 07 3667 8861  
E QLD-enquiries@vandermeer.com.au  
ABN 63 609 812 615

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Melbourne VIC 3000  
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E VIC-enquiries@vandermeer.com.au  
ABN 48 158 266 329

**SYDNEY**  
Level 3, 39 Chandos Street  
St Leonards NSW 2065  
P 02 9436 0433  
E NSW-enquiries@vandermeer.com.au  
ABN 56 158 266 301

PROJECT NAME:	MACQUARIE PARK - BLD C1 MIDTOWN ESTATE	DD	17	30	3	07	10	15	16	17	21	23	current	
			MM	11	11	12	12	12	12	12	12	12		12
PROJECT No:	SY210-098	YY	21	21	21	21	21	21	21	21	21	21		
			BY	NZ	NZ	NZ	NZ	NZ	NZ	NZ	NZ	NZ		NZ
Drawing No.:	Drawing Title:	DWG	Revision											
S01-00	COVER SHEET												1	
S01-01	STRUCTURAL NOTES - SHEET 1												2	
S01-02	STRUCTURAL NOTES - SHEET 2												1	
S01-51	TYPICAL DETAILS - SHEET 1												1	
S01-52	TYPICAL DETAILS - SHEET 2												1	
S02-01	FOOTING PLAN - WEST	Y											3	
S02-02	FOOTING PLAN - EAST	Y											4	
S02-51	FOOTING DETAILS - SHEET 1										2		2	
S02-52	FOOTING DETAILS - SHEET 2												5	
S03-01	BASEMENT 3 WEST - SLAB ON GROUND PLAN	Y				4							4	
S03-02	BASEMENT 3 EAST - SLAB ON GROUND PLAN	Y				5							5	
S03-51	BASEMENT 3 - SLAB ON GROUND DETAILS												2	
S04-01	BASEMENT 2 WEST - SLAB PLAN	Y						3					3	
S04-02	BASEMENT 2 EAST - SLAB PLAN	Y						2			3		3	
S04-11	BASEMENT 2 WEST - TIES REINFORCEMENT PLAN								3				3	
S04-12	BASEMENT 2 EAST - TIES REINFORCEMENT PLAN										3		3	
S04-21	BASEMENT 2 WEST - BOTTOM REINFORCEMENT PLAN								3		4		4	
S04-22	BASEMENT 2 EAST - BOTTOM REINFORCEMENT PLAN										3		3	
S04-31	BASEMENT 2 WEST - TOP REINFORCEMENT PLAN								3				3	
S04-32	BASEMENT 2 EAST - TOP REINFORCEMENT PLAN										3		3	
S04-41	BASEMENT 2 WEST - POST TENSIONING PLAN	Y							3				3	
S04-42	BASEMENT 2 EAST - POST TENSIONING PLAN	Y									3		3	
S04-80	ON SITE DETENTION TANK PLANS AND DETAILS							1					1	
S05-01	BASEMENT 1 WEST - SLAB PLAN	Y	E	1							2		2	
S05-02	BASEMENT 1 EAST - SLAB PLAN	Y	E	1							2		2	
S05-11	BASEMENT 1 - WEST TIES REINFORCEMENT PLAN			1									1	
S05-12	BASEMENT 1 - EAST TIES REINFORCEMENT PLAN			1									1	
S05-21	BASEMENT 1 - WEST BOTTOM REINFORCEMENT PLAN			1									1	
S05-22	BASEMENT 1 - EAST BOTTOM REINFORCEMENT PLAN			1									1	
S05-31	BASEMENT 1 - WEST TOP REINFORCEMENT PLAN			1									1	
S05-32	BASEMENT 1 - EAST TOP REINFORCEMENT PLAN			1									1	
S05-41	BASEMENT 1 - WEST POST TENSIONING PLAN	Y		1									1	
S05-42	BASEMENT 1 - EAST POST TENSIONING PLAN	Y		1									1	
S05-51	BASEMENT 1 SECTIONS - SHEET 1												A	
S05-52	BASEMENT 1 SECTIONS - SHEET 2												A	
S06-01	LOWER GROUND WEST - SLAB PLAN	Y					C				D		D	
S06-02	LOWER GROUND EAST - SLAB PLAN	Y					C				D		D	
S07-01	UPPER GROUND WEST - SLAB PLAN	Y									C		C	
S07-02	UPPER GROUND EAST - SLAB PLAN	Y									C		C	
<b>REASON FOR ISSUE</b>														
A - Approval		B - As Built		C - Construction		CC - Construction Certificate		P/C		C	C	C	C	C
P - Preliminary		R - As Requested		T - Tender										

PROJECT NAME:	MACQUARIE PARK - BLD C1 MIDTOWN ESTATE	DD	17	30	3	07	10	15	16	17	21	23	current	
			MM	11	11	12	12	12	12	12	12	12		12
PROJECT No:	SY210-098	YY	21	21	21	21	21	21	21	21	21	21		
			BY	NZ	NZ	NZ	NZ	NZ	NZ	NZ	NZ	NZ		NZ
Drawing No.:	Drawing Title:	DWG	Revision											
S08-01	LEVEL 1 WEST - SLAB PLAN	Y												
S08-02	LEVEL 1 EAST - SLAB PLAN	Y												
S09-01	LEVEL 2 WEST - SLAB PLAN	Y												
S09-02	LEVEL 2 EAST - SLAB PLAN	Y												
S10-01	LEVEL 3 WEST - SLAB PLAN	Y												
S10-02	LEVEL 3 EAST - SLAB PLAN	Y												
S11-01	LEVEL 4 WEST - SLAB PLAN	Y												
S11-02	LEVEL 4 EAST - SLAB PLAN	Y												
S12-01	LEVEL 5 WEST - SLAB PLAN	Y												
S12-02	LEVEL 5 EAST - SLAB PLAN	Y												
S13-01	LEVEL 6 WEST - SLAB PLAN	Y												
S13-02	LEVEL 6 EAST - SLAB PLAN	Y												
S14-01	LEVEL 7 WEST - SLAB PLAN	Y												
S14-02	LEVEL 7 EAST - SLAB PLAN	Y												
S15-01	LEVEL 8 WEST - SLAB PLAN	Y												
S15-02	LEVEL 8 EAST - SLAB PLAN	Y												
S16-01	LEVEL 9 WEST - SLAB PLAN	Y												
S16-02	LEVEL 9 EAST - SLAB PLAN	Y												
S17-01	LEVEL 10 WEST - SLAB PLAN	Y												
S17-02	LEVEL 10 EAST - SLAB PLAN	Y												
S18-01	LEVEL 11 WEST - SLAB PLAN	Y												
S18-02	LEVEL 11 EAST - SLAB PLAN	Y												
S19-01	LEVEL 12 WEST - SLAB PLAN	Y												
S19-02	LEVEL 12 EAST - SLAB PLAN	Y												
S20-01	LEVEL 13 WEST - SLAB PLAN	Y												
S20-02	LEVEL 13 EAST - SLAB PLAN	Y												
S21-01	LEVEL 14 WEST - SLAB PLAN	Y												
S21-02	LEVEL 14 EAST - SLAB PLAN	Y												
S22-01	LEVEL 15 WEST - SLAB PLAN	Y												
S22-02	LEVEL 15 EAST - SLAB PLAN	Y												
S23-01	LEVEL 16 WEST - SLAB PLAN	Y												
REASON FOR ISSUE														
A - Approval	B - As Built	C - Construction	CC - Construction Certificate	P/C	C	C	C	C	C	C	C	C	C	X
P - Preliminary	R - As Requested	T - Tender												

**BRISBANE**  
**CANBERRA**  
**MELBOURNE**  
**NEWCASTLE**  
**SYDNEY**

Level 1, 51 Alfred Street, Fortitude Valley QLD 4006  
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P 02 9436 0433

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E ACT-enquiries@vandermeer.com.au  
E VIC-enquiries@vandermeer.com.au  
E NC-enquiries@vandermeer.com.au  
E NSW-enquiries@vandermeer.com.au

PROJECT NAME:	MACQUARIE PARK - BLD C1 MIDTOWN ESTATE	DD	17	30	3	07	10	15	16	17	21	23	current		
			MM	11	11	12	12	12	12	12	12	12		12	
PROJECT No:	SY210-098	YY	21	21	21	21	21	21	21	21	21	21			
			BY	NZ	NZ	NZ	NZ	NZ	NZ	NZ	NZ	NZ		NZ	
Drawing No.:	Drawing Title:	DWG	Revision												
S23-02	LEVEL 16 EAST - SLAB PLAN	Y													
S24-01	LEVEL 17 WEST - SLAB PLAN	Y													
S24-02	LEVEL 17 EAST - SLAB PLAN	Y													
S25-01	LEVEL 18 WEST - SLAB PLAN	Y													
S25-02	LEVEL 18 EAST - SLAB PLAN	Y													
S26-01	LEVEL 19 WEST - SLAB PLAN	Y													
S26-02	LEVEL 19 EAST - SLAB PLAN	Y													
S27-01	ROOF WEST - SLAB PLAN	Y													
S27-02	ROOF EAST - SLAB PLAN	Y													
S30-01	RAMP PLANS - SHEET 1	Y			1	2							2		
S30-11	RAMP PLANS - SHEET 1, BOTTOM & TOP REINFORCEMENT PL				1	2							2		
S30-51	RAMP SECTIONS					1							1		
S40-05	BASEMENT 1 LOADING PLAN			A									A		
S50-01	COLUMN SCHEDULE - SHEET 1		5				6			7			7		
S50-02	COLUMN SCHEDULE - SHEET 2		6				7			8		9	9		
S50-03	COLUMN SCHEDULE - SHEET 3		6				7			8		9	9		
S50-04	COLUMN SCHEDULE - SHEET 4		C				D			E		1	1		
S50-05	COLUMN SCHEDULE - SHEET 5		C				D			E		1	1		
S50-06	COLUMN SCHEDULE - SHEET 6		C				D			E		1	1		
S50-07	COLUMN SCHEDULE - SHEET 7									A		1	1		
S50-51	COLUMN DETAILS - SHEET 1						5			6		7	7		
S60-01	WALL ELEVATIONS - SHEET 1	Y				4		5					5		
S60-02	WALL ELEVATIONS - SHEET 2	Y				4		5					5		
S60-03	WALL ELEVATIONS - SHEET 3	Y				4		5					5		
S60-04	WALL ELEVATIONS - SHEET 4	Y											2		
S60-05	WALL ELEVATIONS - SHEET 5	Y						4					4		
S60-06	WALL ELEVATIONS - SHEET 6	Y				4		5					5		
S60-07	WALL ELEVATIONS - SHEET 7	Y				4		5					5		
S60-08	WALL ELEVATIONS - SHEET 8	Y				3		4					4		
S60-51	INSITU WALL DETAILS - SHEET 1												4		
S60-52	INSITU WALL DETAILS - SHEET 2				1			2					2		
S65-51	PRECAST WALL DETAILS - SHEET 1		C		1								1		
S65-52	PRECAST WALL DETAILS - SHEET 2		B		1				2				2		
S70-01	STAIR ELEVATIONS - SHEET 1	Y									B		B		
S70-02	STAIR ELEVATIONS - SHEET 2	Y									B		B		
S70-03	STAIR ELEVATIONS - SHEET 3	Y									A		A		
<b>REASON FOR ISSUE</b>															
A - Approval			B - As Built			C - Construction			CC - Construction Certificate			P/C			X
P - Preliminary			R - As Requested			T - Tender			C	C	C	C	C	C	



Regulated Design record				
Project Address: HERRING ROAD, MACQUARIE PARK				
Project Title: BUILDING C1, MDTOWN ESTATE				
Consent No: SSD 8903		Body Corporate No: -		
Drawing Title: COLUMN SCHEDULE SHEET 1		Drawing Number: S50-01		
Rev	Date	Description	DP Full Name	Reg No
R02	18.10.21	FOR CONSTRUCTION	ASHKAN AFNANI (ESFANDABADI)	DEP0001118
R03	17.11.21	FOR CONSTRUCTION	ASHKAN AFNANI (ESFANDABADI)	DEP0001118

**NOTE:**  
MINIMUM STRUCTURAL SIZES AS NOTED  
REFER ARCH DRAWINGS TO UNIQUE PROFILES AND  
SUBMIT TO VAN DER MEER FOR REVIEW.  
'LOCATION SHIFT' MEANS THE COLUMN HAS SHIFTED  
IN PLAN POSITION RELATIVE TO THE COLUMN UNDER,  
DISTANCE MOVED SHOWN IN BRACKETS

### COLUMN SCHEDULE - SHEET 1

MARK	BASE LEVEL	TOP LEVEL	SIZE	CONCRETE GRADE	REINFORCEMENT			REMARKS
					Vert. Reinf	Ties	Tie Type	
C1	LOWER GROUND	UPPER GROUND	400	S50	5 N20	N10-200	H	
C1	BASEMENT 1	LOWER GROUND	400	S80	5 N20	N10-200	H	
C1	BASEMENT 2	BASEMENT 1	400	S80	5 N20	N10-200	H	
C1	BASEMENT 3	BASEMENT 2	400	S80	5 N20	N10-200	H	
C2	LOWER GROUND	UPPER GROUND	400	S50	5 N20	N10-200	H	
C2	BASEMENT 1	LOWER GROUND	400	S80	5 N20	N10-200	H	
C2	BASEMENT 2	BASEMENT 1	400	S80	5 N20	N10-200	H	
C2	BASEMENT 3	BASEMENT 2	400	S80	5 N20	N10-200	H	
C3	LOWER GROUND	UPPER GROUND	400	S50	5 N20	N10-200	H	
C3	BASEMENT 1	LOWER GROUND	400	S80	5 N20	N10-200	H	
C3	BASEMENT 2	BASEMENT 1	400	S80	5 N20	N10-200	H	
C3	BASEMENT 3	BASEMENT 2	400	S80	5 N20	N10-200	H	
C4	LOWER GROUND	UPPER GROUND	400	S50	5 N20	N10-200	H	
C4	BASEMENT 1	LOWER GROUND	400	S80	5 N20	N10-200	H	
C4	BASEMENT 2	BASEMENT 1	400	S80	5 N20	N10-200	H	
C4	BASEMENT 3	BASEMENT 2	400	S80	5 N20	N10-200	H	
C5	BASEMENT 1	LOWER GROUND	400	S80	5 N20	N10-200	H	
C5	BASEMENT 2	BASEMENT 1	400	S80	5 N20	N10-200	H	
C5	BASEMENT 3	BASEMENT 2	400	S80	5 N20	N10-200	H	
C6	BASEMENT 1	LOWER GROUND	400	S80	5 N20	N10-200	H	
C6	BASEMENT 2	BASEMENT 1	400	S80	5 N20	N10-200	H	
C6	BASEMENT 3	BASEMENT 2	400	S80	5 N20	N10-200	H	
C7	BASEMENT 1	LOWER GROUND	400	S80	5 N20	N10-200	H	
C7	BASEMENT 2	BASEMENT 1	400	S80	5 N20	N10-200	H	
C7	BASEMENT 3	BASEMENT 2	400	S80	5 N20	N10-200	H	
C8	BASEMENT 1	LOWER GROUND	400	S80	5 N20	N10-200	H	
C8	BASEMENT 2	BASEMENT 1	400	S80	5 N20	N10-200	H	
C8	BASEMENT 3	BASEMENT 2	400	S80	5 N20	N10-200	H	
C9	BASEMENT 1	LOWER GROUND	400	S80	5 N20	N10-200	H	
C9	BASEMENT 2	BASEMENT 1	400	S80	5 N20	N10-200	H	
C9	BASEMENT 3	BASEMENT 2	400	S80	5 N20	N10-200	H	
C10	BASEMENT 1	LOWER GROUND	400	S80	5 N20	N10-200	H	
C10	BASEMENT 2	BASEMENT 1	400	S80	5 N20	N10-200	H	
C10	BASEMENT 3	BASEMENT 2	400	S80	5 N20	N10-200	H	
C11	BASEMENT 1	LOWER GROUND	400	S80	5 N20	N10-200	H	
C11	BASEMENT 2	BASEMENT 1	400	S80	5 N20	N10-200	H	
C11	BASEMENT 3	BASEMENT 2	400	S80	5 N20	N10-200	H	
C12	LOWER GROUND	UPPER GROUND	400	S50	5 N20	N10-200	H	
C12	BASEMENT 1	LOWER GROUND	400	S80	5 N20	N10-200	H	
C12	BASEMENT 2	BASEMENT 1	400	S80	5 N20	N10-200	H	
C12	BASEMENT 3	BASEMENT 2	400	S80	5 N20	N10-200	H	
C13	LEVEL 19	ROOF	800 x 200	S80	8 N20	N12-100	F	
C13	LEVEL 18	LEVEL 19	800 x 200	S80	8 N20	N12-100	F	
C13	LEVEL 17	LEVEL 18	800 x 200	S80	8 N20	N12-100	F	
C13	LEVEL 16	LEVEL 17	800 x 200	S80	8 N20	N12-100	F	
C13	LEVEL 15	LEVEL 16	800 x 200	S80	8 N20	N12-100	F	
C13	LEVEL 14	LEVEL 15	800 x 300	S80	8 N20	N12-150	F	
C13	LEVEL 13	LEVEL 14	800 x 300	S80	8 N20	N12-150	F	
C13	LEVEL 12	LEVEL 13	800 x 300	S80	8 N20	N12-150	F	
C13	LEVEL 11	LEVEL 12	800 x 300	S80	8 N20	N12-150	F	
C13	LEVEL 10	LEVEL 11	800 x 300	S80	8 N20	N12-150	F	
C13	LEVEL 9	LEVEL 10	800 x 300	S80	8 N20	N12-150	F	
C13	LEVEL 8	LEVEL 9	800 x 400	S80	10 N24	N12-190	J	
C13	LEVEL 7	LEVEL 8	800 x 400	S80	10 N24	N12-190	J	
C13	LEVEL 6	LEVEL 7	800 x 400	S80	10 N24	N12-190	J	
C13	LEVEL 5	LEVEL 6	800 x 400	S80	10 N24	N12-190	J	
C13	LEVEL 4	LEVEL 5	800 x 400	S80	10 N24	N12-190	J	
C13	LEVEL 3	LEVEL 4	800 x 400	S80	10 N24	N12-190	J	
C13	LEVEL 2	LEVEL 3	800 x 400	S80	10 N24	N12-190	J	
PC13	LEVEL 1	LEVEL 2	2600 x 300	S80	22 N24	N12-150	J	PRECAST
PC13	UPPER GROUND	LEVEL 1	2600 x 300	S80	22 N24	N12-150	J	PRECAST
C13	LOWER GROUND	UPPER GROUND	2600 x 300	S80	22 N24	N12-150	J	
C13	BASEMENT 1	LOWER GROUND	1000 x 600	S80	14 N24	N10-190	A	
C13	BASEMENT 2	BASEMENT 1	1000 x 600	S80	14 N24	N10-190	A	
C13	BASEMENT 3	BASEMENT 2	1000 x 600	S80	14 N24	N10-190	A	
C14	BASEMENT 1	LOWER GROUND	1000 x 600	S80	14 N24	N10-190	A	
C14	BASEMENT 2	BASEMENT 1	1000 x 600	S80	14 N24	N10-190	A	
C14	BASEMENT 3	BASEMENT 2	1000 x 600	S80	14 N24	N10-190	A	
C15	LEVEL 19	ROOF	2000 x 200	S80	24 N20	N10-100	F	
C15	LEVEL 18	LEVEL 19	2000 x 200	S80	24 N20	N10-100	F	
C15	LEVEL 17	LEVEL 18	2000 x 200	S80	24 N20	N10-100	F	
C15	LEVEL 16	LEVEL 17	2000 x 200	S80	24 N20	N10-100	F	
C15	LEVEL 15	LEVEL 16	2000 x 200	S80	24 N20	N10-100	F	
C15	LEVEL 14	LEVEL 15	2000 x 200	S80	24 N20	N10-100	F	
C15	LEVEL 13	LEVEL 14	2000 x 200	S80	24 N20	N10-100	F	
C15	LEVEL 12	LEVEL 13	2000 x 200	S80	24 N20	N10-100	F	

### COLUMN SCHEDULE - SHEET 1

MARK	BASE LEVEL	TOP LEVEL	SIZE	CONCRETE GRADE	REINFORCEMENT			REMARKS
					Vert. Reinf	Ties	Tie Type	
C15	LEVEL 11	LEVEL 12	2000 x 200	S80	24 N20	N10-100	F	
C15	LEVEL 10	LEVEL 11	2000 x 250	S80	24 N20	N10-125	F	
C15	LEVEL 9	LEVEL 10	2000 x 250	S80	24 N20	N10-125	F	
C15	LEVEL 8	LEVEL 9	2000 x 250	S80	24 N20	N10-125	F	
C15	LEVEL 7	LEVEL 8	2000 x 250	S80	24 N20	N10-125	F	
C15	LEVEL 6	LEVEL 7	2000 x 250	S80	24 N20	N10-125	F	
C15	LEVEL 5	LEVEL 6	2000 x 250	S80	24 N20	N10-125	F	
C15	LEVEL 4	LEVEL 5	2000 x 300	S80	24 N20	N12-150	F	
C15	LEVEL 3	LEVEL 4	2000 x 300	S80	24 N20	N12-150	F	
C15	LEVEL 2	LEVEL 3	2000 x 300	S80	24 N20	N12-150	F	
PC15	LEVEL 1	LEVEL 2	2000 x 350	S80	26 N20	N12-175	J	PRECAST
PC15	UPPER GROUND	LEVEL 1	2000 x 350	S80	26 N20	N12-175	J	PRECAST
PC15	LOWER GROUND	UPPER GROUND	2000 x 350	S80	26 N20	N12-175	J	PRECAST LOCATION SHIFT (-1270)
C15	BASEMENT 1	LOWER GROUND	1000 x 600	S80	14 N24	N10-190	A	
C15	BASEMENT 2	BASEMENT 1	1000 x 600	S80	14 N24	N10-190	A	
C15	BASEMENT 3	BASEMENT 2	1000 x 600	S80	14 N24	N10-190	A	
C16	LOWER GROUND	UPPER GROUND	2000 x 600	S80	14 N32	N12-300	A	
C16	BASEMENT 1	LOWER GROUND	1000 x 600	S80	14 N24	N10-190	A	
C16	BASEMENT 2	BASEMENT 1	1000 x 600	S80	14 N24	N10-190	A	
C16	BASEMENT 3	BASEMENT 2	1000 x 600	S80	14 N24	N10-190	A	
C17	BASEMENT 1	LOWER GROUND	1000 x 600	S80	14 N24	N10-190	A	
C17	BASEMENT 2	BASEMENT 1	1000 x 600	S80	14 N24	N10-190	A	
C17	BASEMENT 3	BASEMENT 2	1000 x 600	S80	14 N24	N10-190	A	
C18	BASEMENT 1	LOWER GROUND	1000 x 600	S80	14 N24	N10-190	A	
C18	BASEMENT 2	BASEMENT 1	1000 x 600	S80	14 N24	N10-190	A	
C18	BASEMENT 3	BASEMENT 2	1000 x 600	S80	14 N24	N10-190	A	
C19	BASEMENT 1	LOWER GROUND	1000 x 600	S80	14 N24	N10-190	A	
C19	BASEMENT 2	BASEMENT 1	1000 x 600	S80	14 N24	N10-190	A	
C19	BASEMENT 3	BASEMENT 2	1000 x 600	S80	14 N24	N10-190	A	
C20	BASEMENT 1	LOWER GROUND	1000 x 600	S80	14 N24	N10-190	A	
C20	BASEMENT 2	BASEMENT 1	1000 x 600	S80	14 N24	N10-190	A	
C20	BASEMENT 3	BASEMENT 2	1000 x 600	S80	14 N24	N10-190	A	
PC21	LEVEL 12	LEVEL 13	2500 x 250	S50	16 N20	N10-200	F	PRECAST, STEP JOINTS
PC21	LEVEL 11	LEVEL 12	2500 x 250	S50	16 N20	N10-200	F	PRECAST, STEP JOINTS
PC21	LEVEL 10	LEVEL 11	2500 x 250	S50	16 N20	N10-200	F	PRECAST, STEP JOINTS
PC21	LEVEL 9	LEVEL 10	2500 x 250	S50	16 N20	N10-200	F	PRECAST, STEP JOINTS
PC21	LEVEL 8	LEVEL 9	2500 x 250	S50	16 N20	N10-200	F	PRECAST, STEP JOINTS
PC21	LEVEL 7	LEVEL 8	2500 x 250	S50	16 N20	N10-200	F	PRECAST, STEP JOINTS
PC21	LEVEL 6	LEVEL 7	2500 x 250	S50	16 N20	N10-200	F	PRECAST, STEP JOINTS
PC21	LEVEL 5	LEVEL 6	2500 x 250	S50	16 N20	N10-200	F	PRECAST, STEP JOINTS
PC21	LEVEL 4	LEVEL 5	2500 x 250	S50	16 N20	N10-200	F	PRECAST, STEP JOINTS
PC21	LEVEL 3	LEVEL 4	2500 x 250	S50	16 N20	N10-200	F	PRECAST, STEP JOINTS
PC21	LEVEL 2	LEVEL 3	2500 x 250	S50	16 N20	N10-200	F	PRECAST, STEP JOINTS
PC21	LEVEL 1	LEVEL 2	2500 x 250	S50	16 N20	N10-200	F	PRECAST, STEP JOINTS
PC21	UPPER GROUND	LEVEL 1	2500 x 250	S50	16 N20	N10-200	F	PRECAST, STEP JOINTS
PC21	LOWER GROUND	UPPER GROUND	2500 x 250	S50	16 N20	N10-200	F	PRECAST, STEP JOINTS
C21	BASEMENT 1	LOWER GROUND	1000 x 500	S80	12 N24	N10-190	B	
C21	BASEMENT 2	BASEMENT 1	1000 x 500	S80	12 N24	N10-190	B	
C21	BASEMENT 3	BASEMENT 2	1000 x 500	S80	12 N24	N10-190	B	
C22	BASEMENT 1	LOWER GROUND	400	S80	5 N20	N10-200	H	
C22	BASEMENT 2	BASEMENT 1	400	S80	5 N20	N10-200	H	
C22	BASEMENT 3	BASEMENT 2	400	S80	5 N20	N10-200	H	
C23	LOWER GROUND	UPPER GROUND	600 x 600	S80	8 N20	N10-200	C	
C23	BASEMENT 1	LOWER GROUND	500 x 500	S80	8 N20	N10-200	C	
C23	BASEMENT 2	BASEMENT 1	500 x 500	S80	8 N20	N10-200	C	
C23	BASEMENT 3	BASEMENT 2	500 x 500	S80	8 N20	N10-200	C	
PC24	LEVEL 19	ROOF	2800 x 250	S50	24 N20	N12-100	L	PRECAST
PC24	LEVEL 18	LEVEL 19	2800 x 250	S50	24 N20	N12-100	L	PRECAST
PC24	LEVEL 17	LEVEL 18	2800 x 250	S50	24 N20	N12-100	L	PRECAST
PC24	LEVEL 16	LEVEL 17	2800 x 250	S50	24 N20	N12-100	L	PRECAST LOCATION SHIFT (287.5)
PC24	LEVEL 15	LEVEL 16	2225 x 250	S50	20 N20	N12-100	F	PRECAST
PC24	LEVEL 14	LEVEL 15	2225 x 250	S50	20 N20	N12-100	F	PRECAST
PC24	LEVEL 13	LEVEL 14	2225 x 250	S50	20 N20	N12-100	F	PRECAST
PC24	LEVEL 12	LEVEL 13	2225 x 250	S50	20 N20	N12-100	F	PRECAST LOCATION SHIFT (287.5)
PC24	LEVEL 11	LEVEL 12	2800 x 250	S50	24 N20	N12-100	L	PRECAST
PC24	LEVEL 10	LEVEL 11	2800 x 250	S50	24 N20	N12-100	L	PRECAST
PC24	LEVEL 9	LEVEL 10	2800 x 250	S50	24 N20	N12-100	L	PRECAST
PC24	LEVEL 8	LEVEL 9	2800 x 250	S50	24 N20	N12-100	L	PRECAST LOCATION SHIFT (287.5)
PC24	LEVEL 7	LEVEL 8	2225 x 250	S50	20 N20	N12-100	F	













Regulated Design record				
Project Address: HERRING ROAD, MACQUARIE PARK				
Project Title: BUILDING C1, MIDTOWN ESTATE				
Consent No: SSD 8903		Body Corporate No: -		
Drawing Title: COLUMN SCHEDULE - SHEET 7		Drawing Number: S50-07		
Rev	Date	Description	DP Full Name	Reg No
	dd.mm.yy			

**NOTE:**  
 MINIMUM STRUCTURAL SIZES AS NOTED  
 REFER ARCH DRAWINGS TO UNIQUE PROFILES AND  
 SUBMIT TO VAN DER MEER FOR REVIEW.  
 'LOCATION SHIFT' MEANS THE COLUMN HAS SHIFTED  
 IN PLAN POSITION RELATIVE TO THE COLUMN UNDER,  
 DISTANCE MOVED SHOWN IN BRACKETS

COLUMN SCHEDULE - SHEET 7								
MARK	BASE LEVEL	TOP LEVEL	SIZE	CONCRETE GRADE	REINFORCEMENT			REMARKS
					Vert. Reinf.	Ties	Tie Type	
C320	LEVEL 18	LEVEL 19	400 x 200	S80	6 N20	N12-100	P	
C320	LEVEL 17	LEVEL 18	400 x 200	S80	6 N20	N12-100	P	
C320	LEVEL 16	LEVEL 17	400 x 200	S80	6 N20	N12-100	P	
C320	LEVEL 15	LEVEL 16	800 x 200	S80	8 N20	N12-100	Q	
C320	LEVEL 14	LEVEL 15	800 x 200	S80	8 N20	N12-100	Q	
C320	LEVEL 13	LEVEL 14	800 x 200	S80	8 N20	N12-100	Q	
C320	LEVEL 12	LEVEL 13	800 x 200	S80	8 N20	N12-100	Q	
C321	LEVEL 18	LEVEL 19	400 x 200	S80	6 N20	N12-100	P	
C321	LEVEL 17	LEVEL 18	400 x 200	S80	6 N20	N12-100	P	
C321	LEVEL 16	LEVEL 17	400 x 200	S80	6 N20	N12-100	P	
C321	LEVEL 15	LEVEL 16	800 x 200	S80	8 N20	N12-100	Q	
C321	LEVEL 14	LEVEL 15	800 x 200	S80	8 N20	N12-100	Q	
C321	LEVEL 13	LEVEL 14	800 x 200	S80	8 N20	N12-100	Q	
C321	LEVEL 12	LEVEL 13	800 x 200	S80	8 N20	N12-100	Q	

REVISIONS			
No.	REVISION DESCRIPTION	DRAWN	DATE
1	ISSUED FOR CONSTRUCTION	J.K.R.	23.10.2021
A	PRELIMINARY ISSUE	J.K.R.	17.10.2021

SCALE BAR  
 0 10 20 30 40 50 100 mm  
 1:1

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 ABN 56 158 266 301

CLIENT  
**PROBUILD**  
 85 MACQUARIE AVENUE  
 RUSHCUTTERS BAY, NSW, 2011

ARCHITECT  
**CANDALEPAS ASSOCIATES**  
 309 SUSSEX STREET, SYDNEY NSW, 2000  
 T: 02 9283 7755 F: 02 9283 7477

PROJECT TITLE  
**BUILDING C1, MIDTOWN ESTATE**  
 HERRING ROAD, MACQUARIE PARK

DRAWING TITLE  
**COLUMN SCHEDULE - SHEET 7**

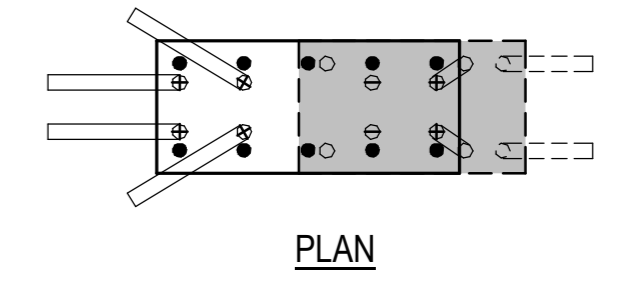
DRAWING STATUS  
**FOR CONSTRUCTION**

PROJECT LEADER A.A.	DESIGNER A.A.	SIGNATURE
DRAFTER/PERSON J.K.R.	SCALE	DATE AUGUST 2021
NO.	SY210-098	DRAWING No. S50-07
		SHEET SIZE A0
		SECTION 1

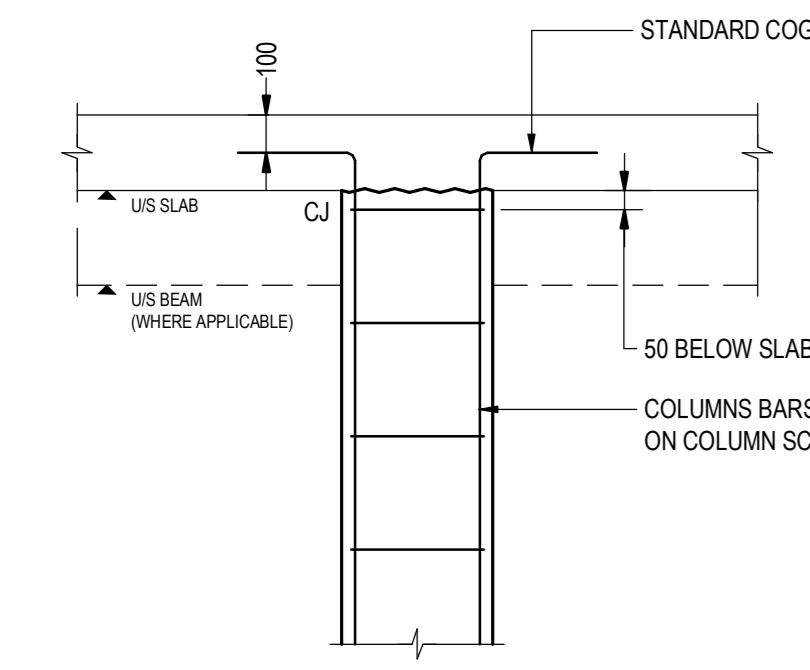
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Regulated Design record				
Project Address: HERRING ROAD, MACQUARIE PARK				
Project Title: BUILDING C1, MIDTOWN ESTATE				
Consent No: SSD 8903		Body Corporate No: -		
Drawing Title: COLUMN DETAILS - SHEET 1		Drawing Number: S50-51		
Rev	Date	Description	DP Full Name	Reg No
RD2	18.10.21	FOR CONSTRUCTION	ASHKAN AFNANI ESFANDABADI	DEP0001118
RD3	17.11.21	FOR CONSTRUCTION	ASHKAN AFNANI ESFANDABADI	DEP0001118

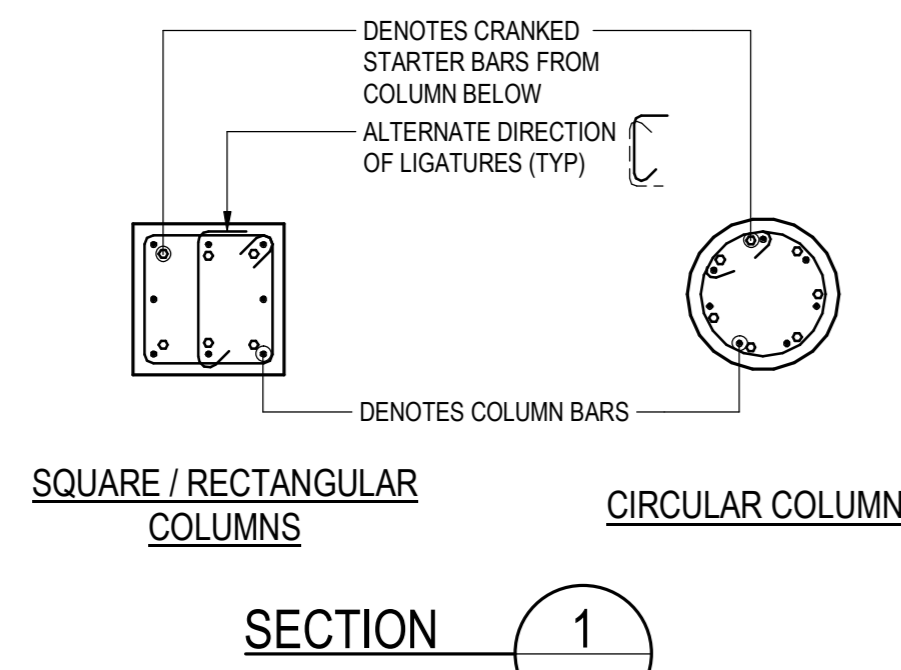
**NOTES:**  
 1. REFER DRG. No. S01-01 AND S01-02 FOR STRUCTURAL NOTES  
 2. REFER DRG. No. S01-51 AND S01-52 FOR TYPICAL DETAILS  
 3. FOR ALL SET OUT DIMENSIONS, LEVELS, SET DOWNS, HOBS, KERBS AND FALLS, REFER TO ARCHITECTS DRAWINGS.



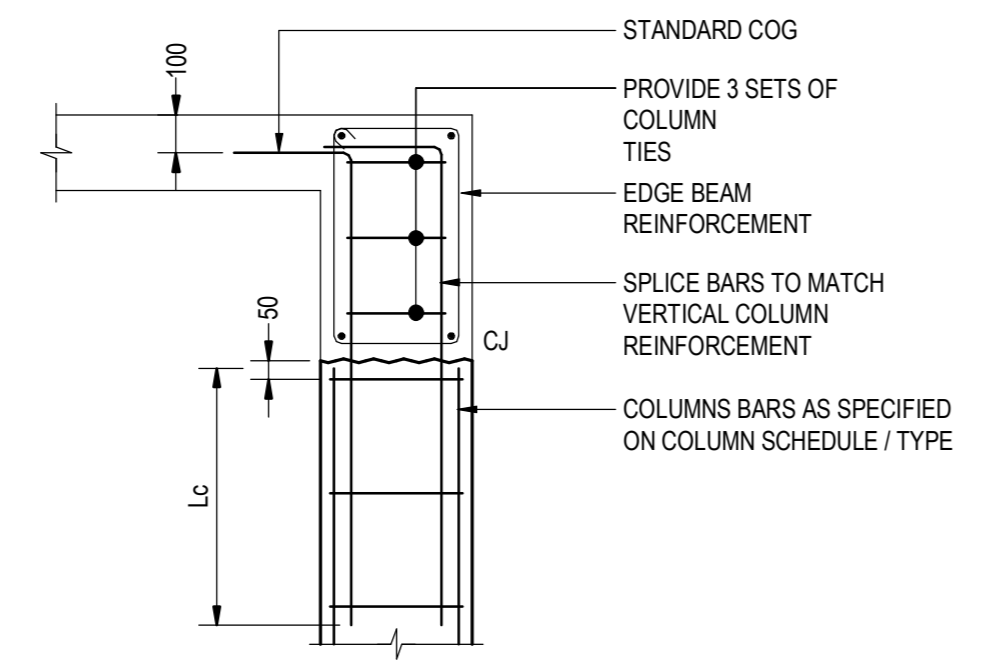
PLAN



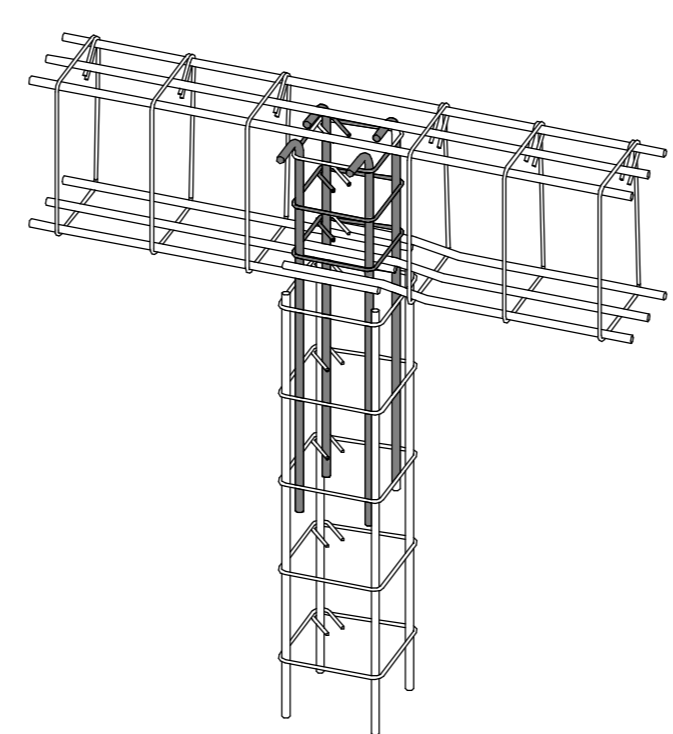
COLUMN TERMINATION



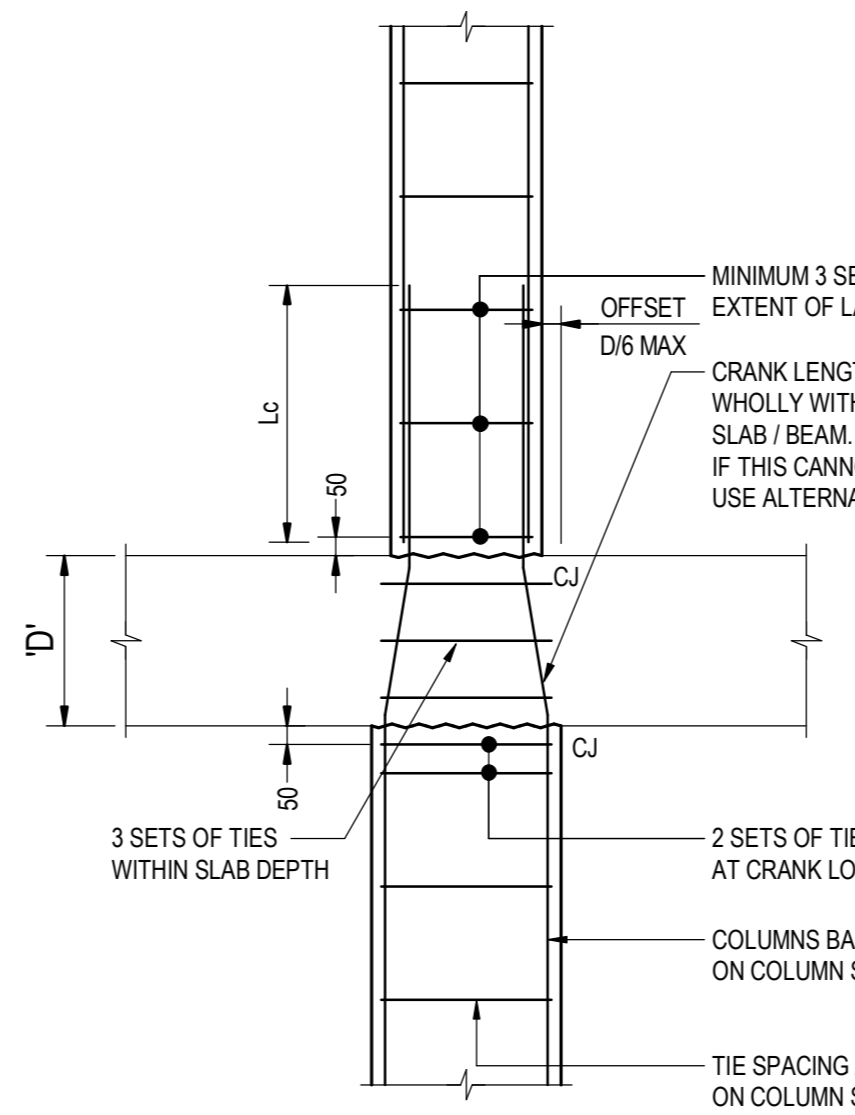
SQUARE / RECTANGULAR COLUMNS



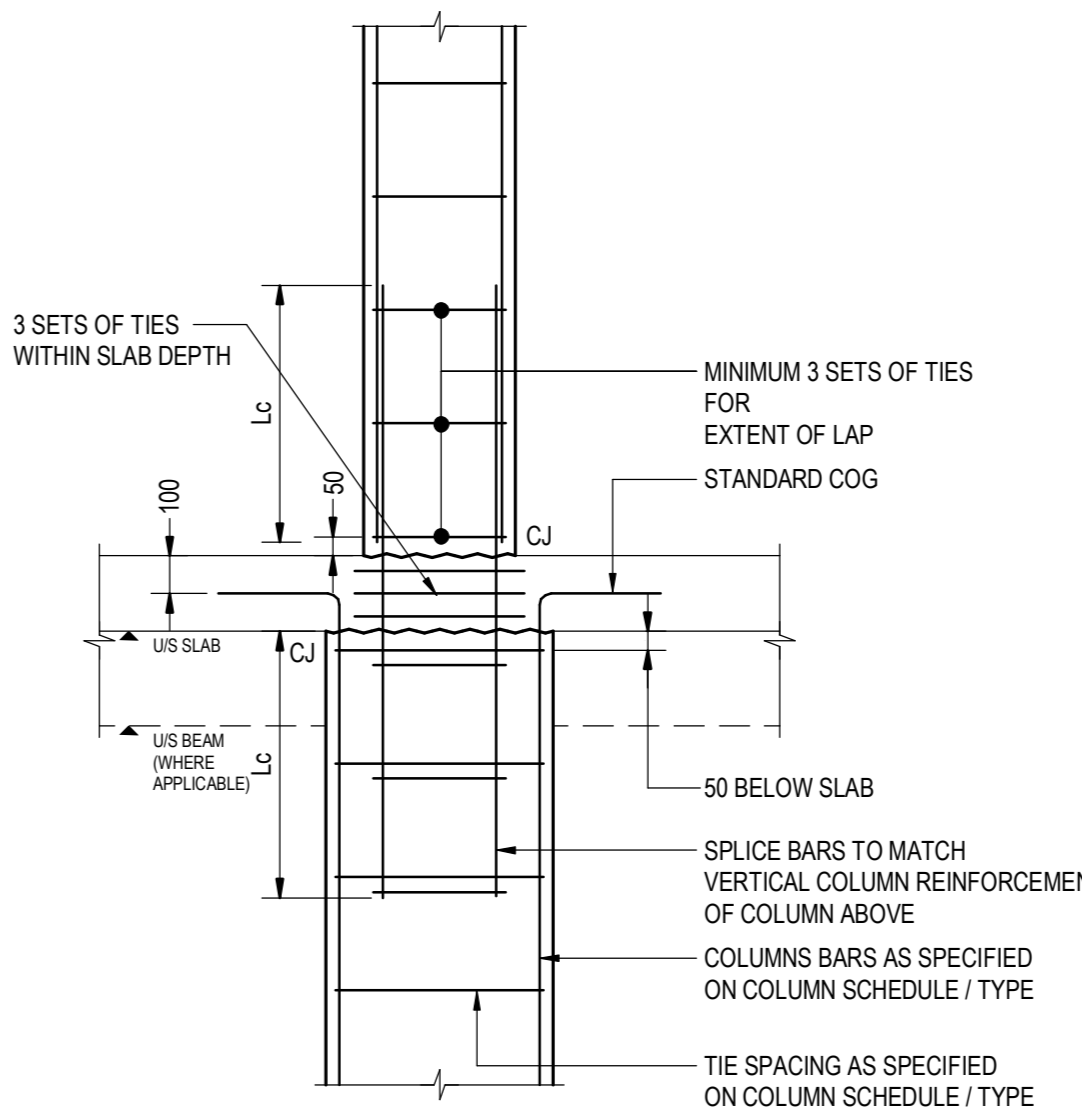
CIRCULAR COLUMNS



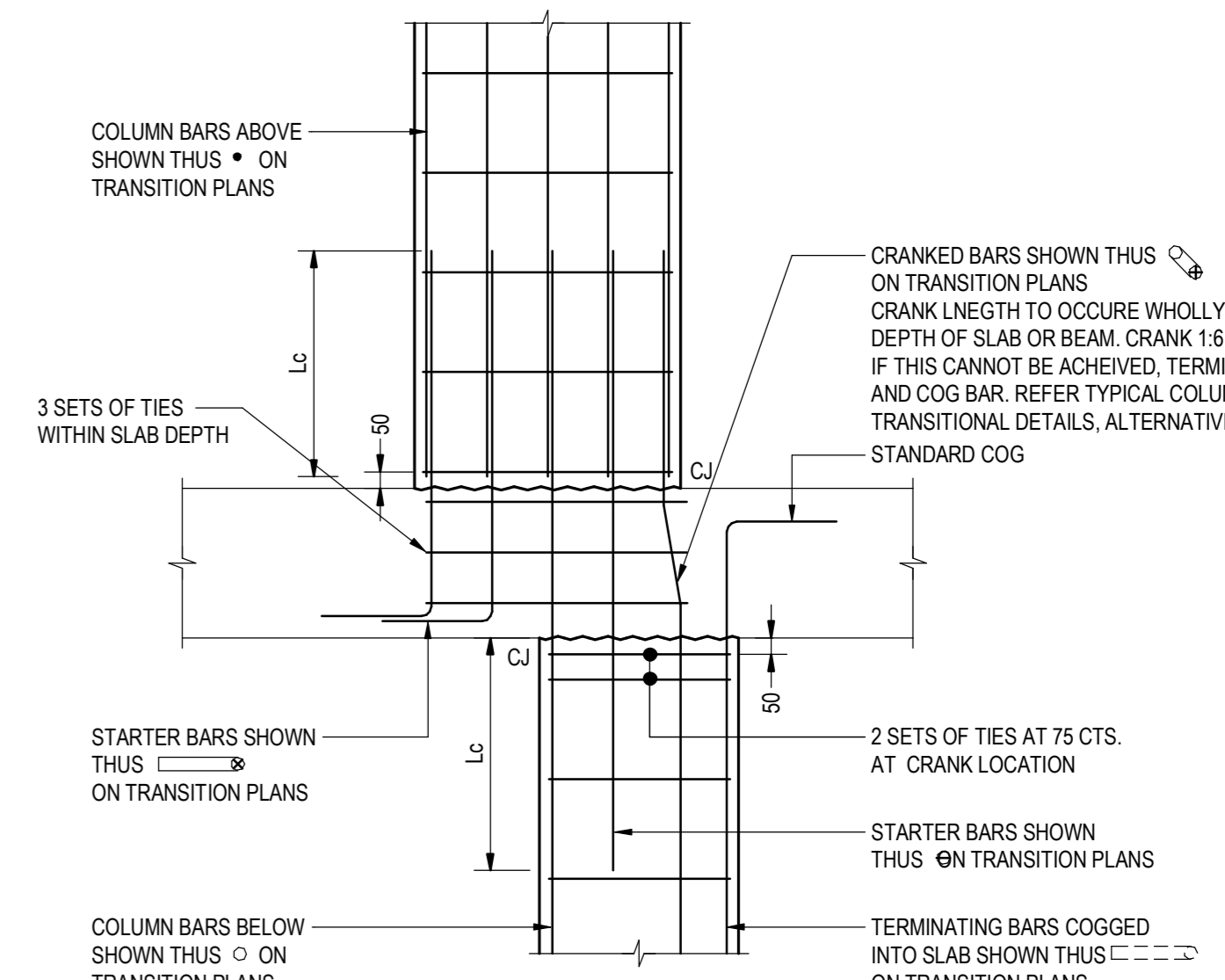
COLUMN TERMINATION AT EDGE BEAM



ALTERNATIVE A

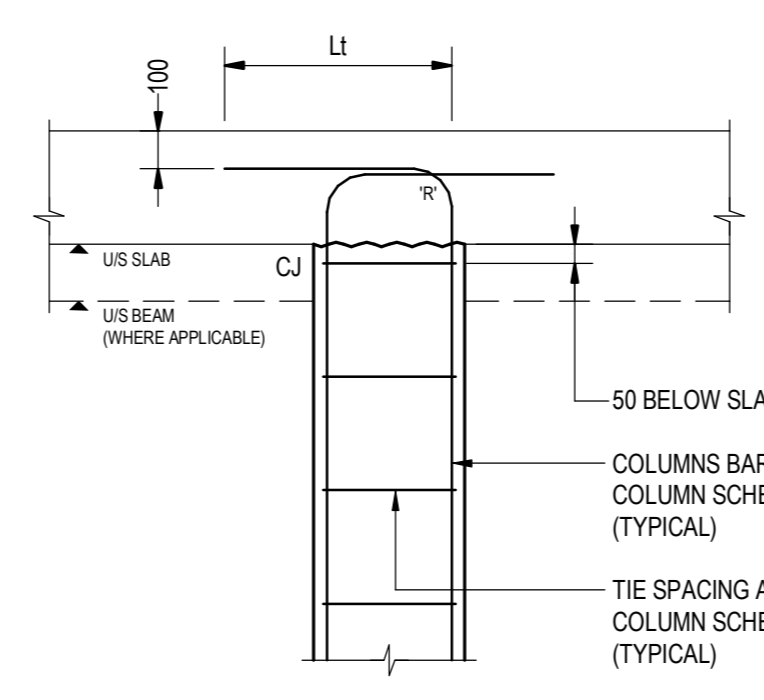


ALTERNATIVE B

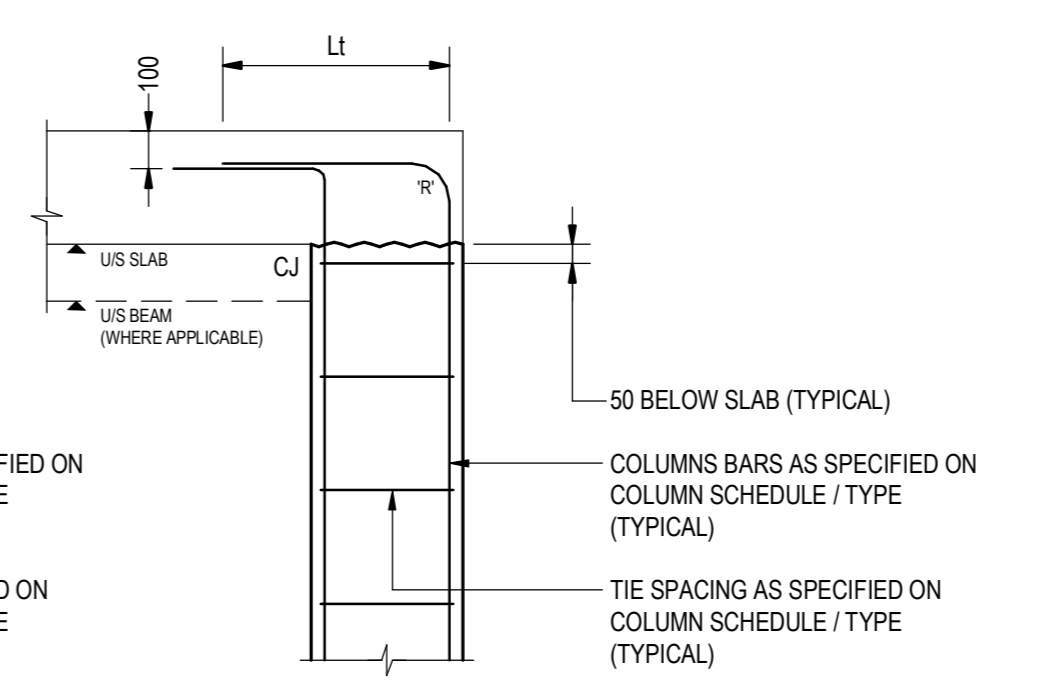


ELEVATION

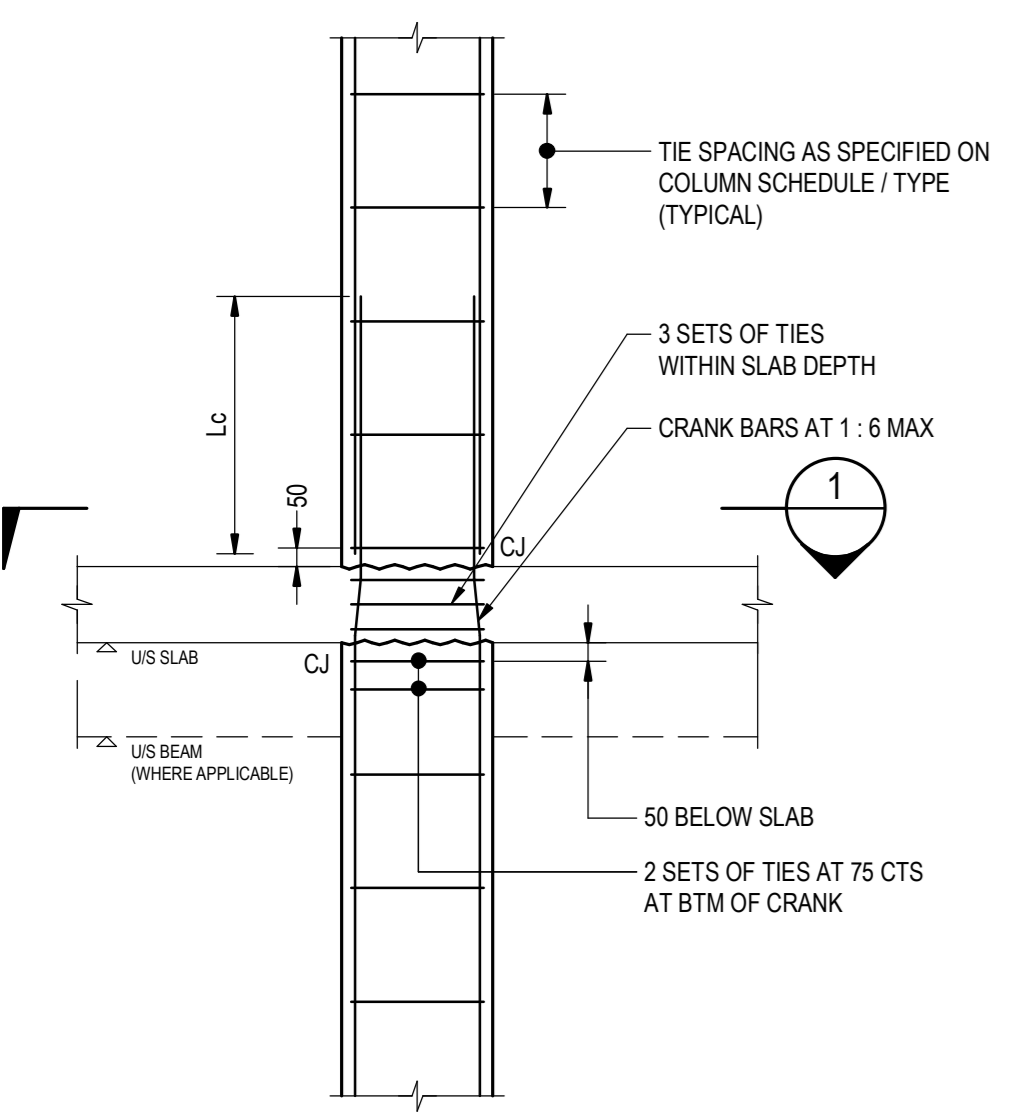
**TYPICAL COLUMN TRANSITION DETAILS**  
 ALL DETAILS AS PER TYPICAL COLUMN DETAILS UNO  
 SCALE 1:20



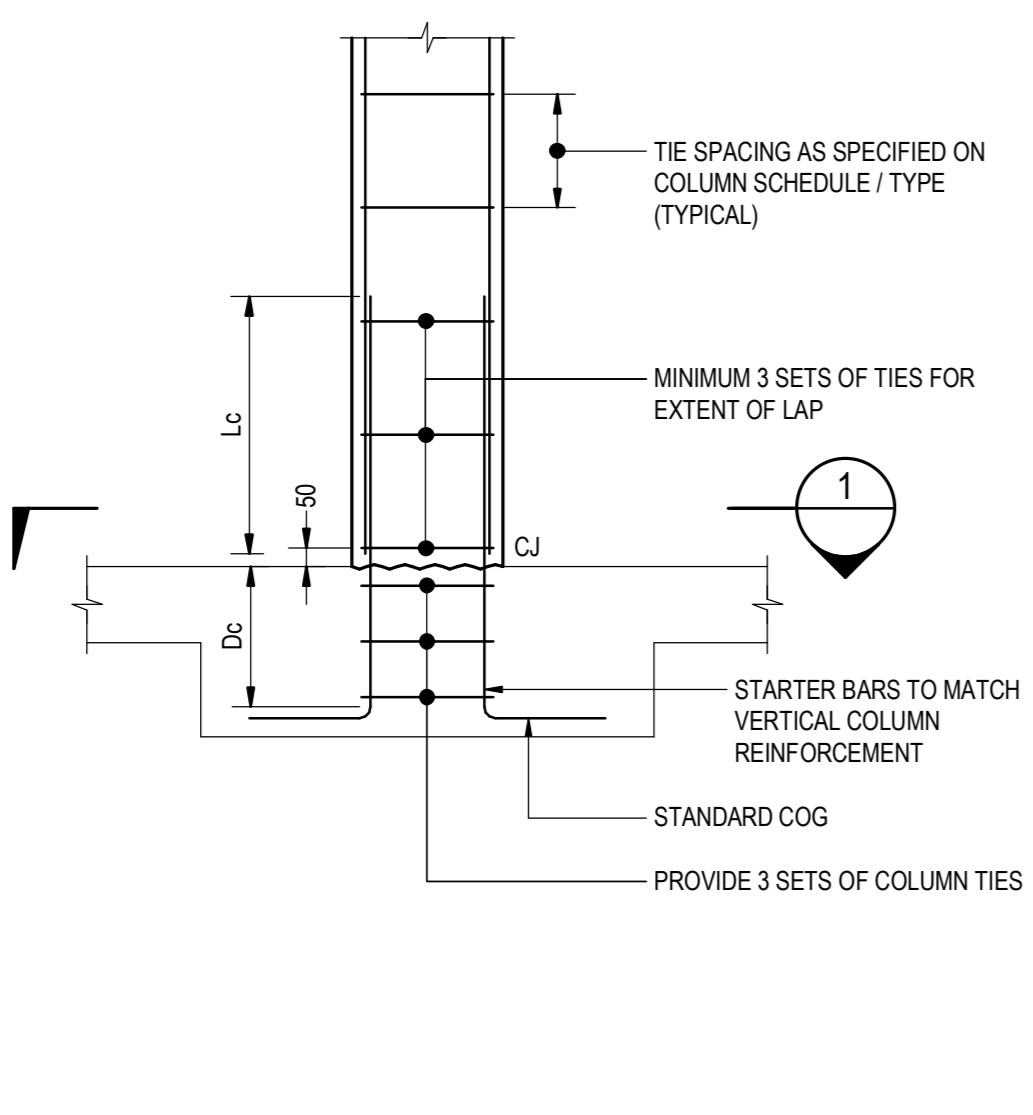
COLUMN TERMINATION



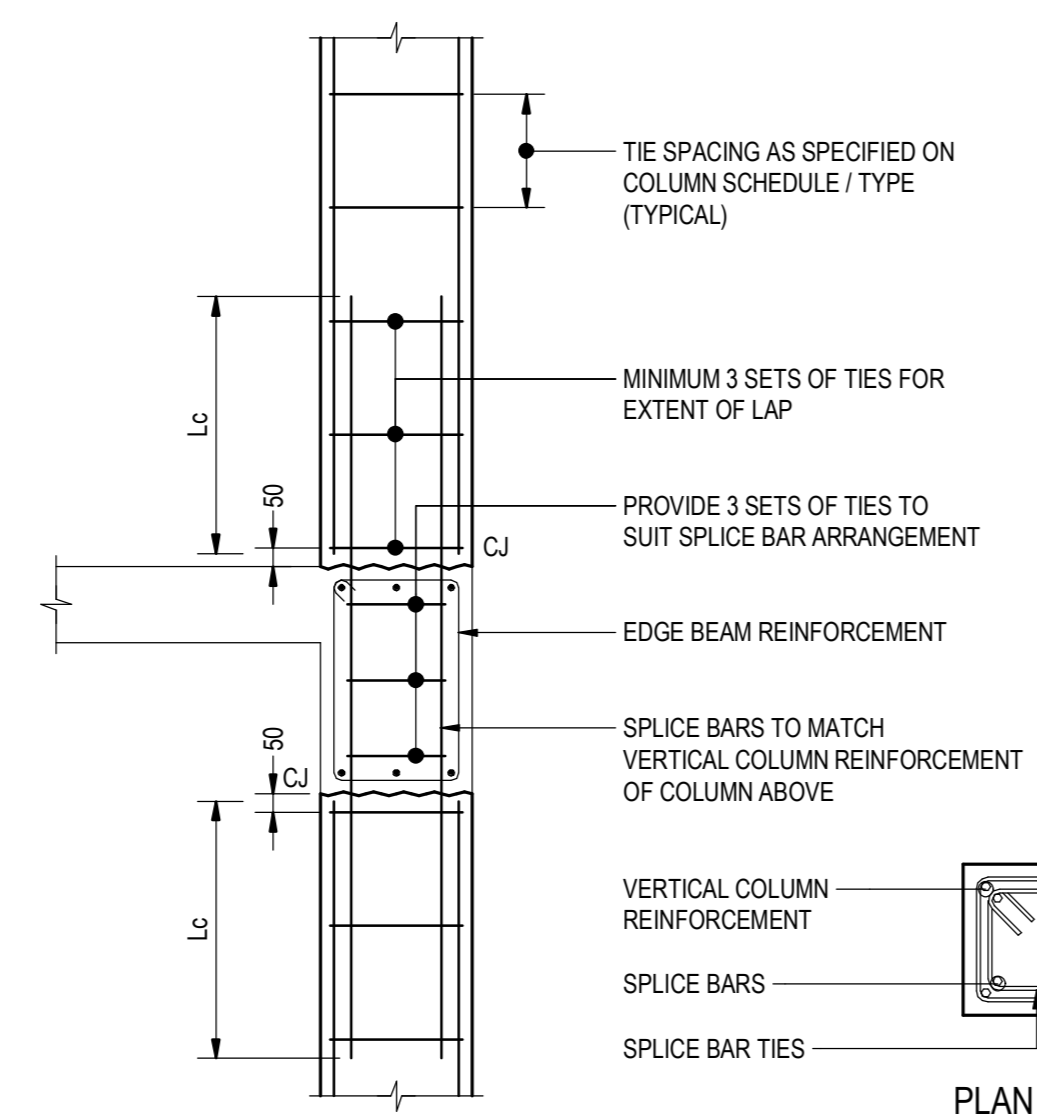
COLUMN TERMINATION AT EDGE OF SLAB



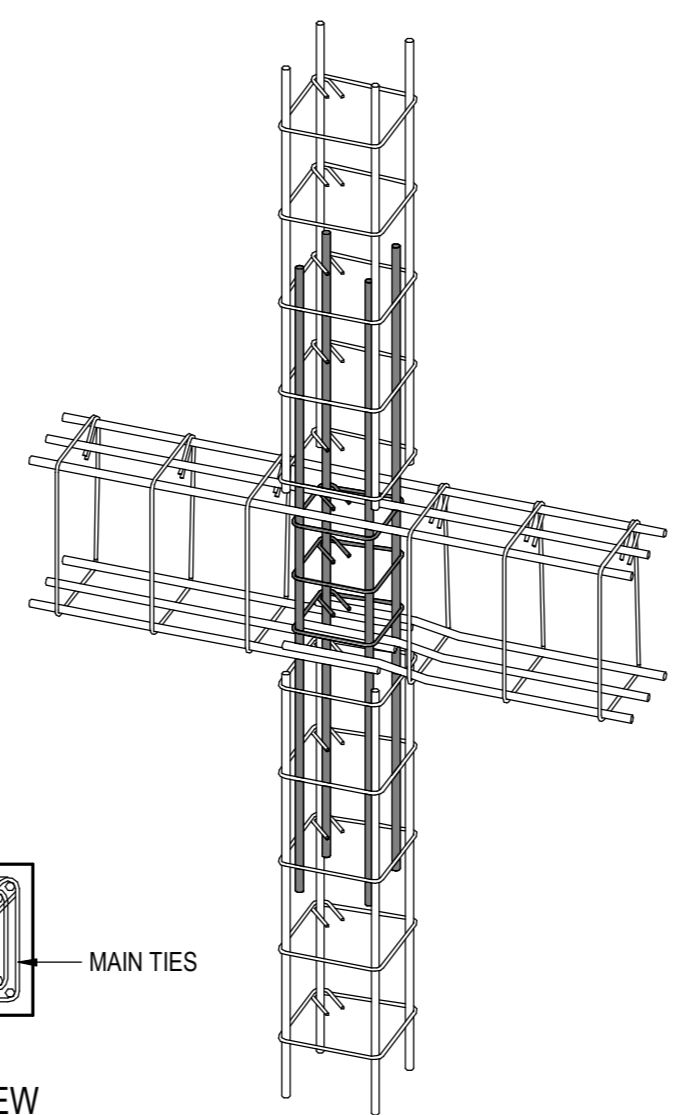
COLUMN SPLICE - SQUARE / RECTANGLE



COLUMN START AT BEAM OR SLAB



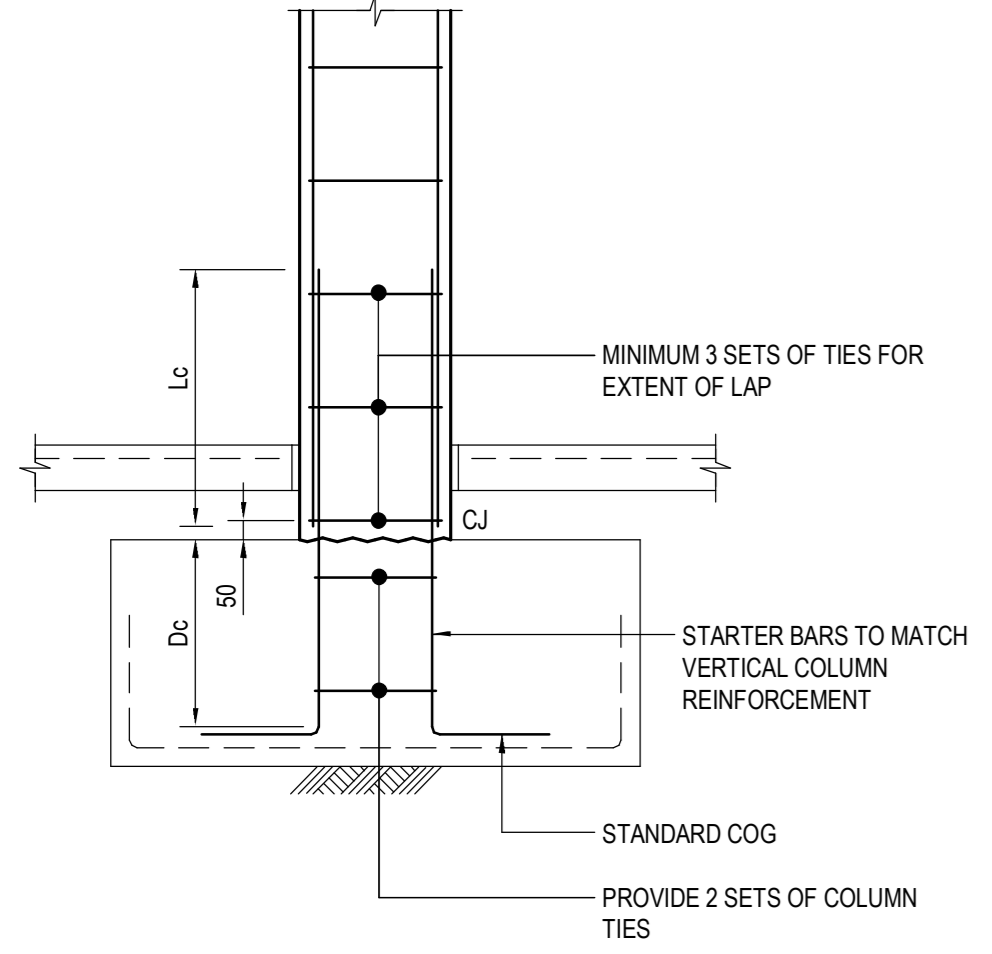
COLUMN SPLICE AT EDGE BEAM



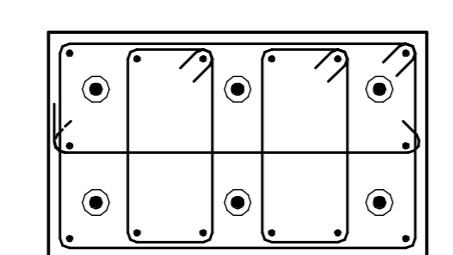
COLUMN SPLICE AT EDGE BEAM

**TYPICAL COLUMN DETAILS**  
 SCALE 1:20

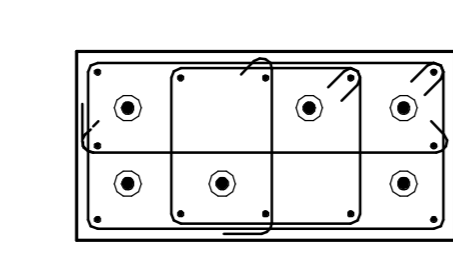
- CJ - CONSTRUCTION JOINT TO BE SCABBLED BACK TO SOUND CONCRETE AND CLEANED
- Lc - DENOTES LAP SPLICE LENGTH IN COMPRESSION - REFER STRUCTURAL NOTES REINFORCEMENT R16
- Dc - DENOTES DEVELOPMENT LENGTH IN COMPRESSION - REFER STRUCTURAL NOTES REINFORCEMENT R16
- Lt - DENOTES LAP SPLICE LENGTH IN TENSION - REFER STRUCTURAL NOTES REINFORCEMENT R17



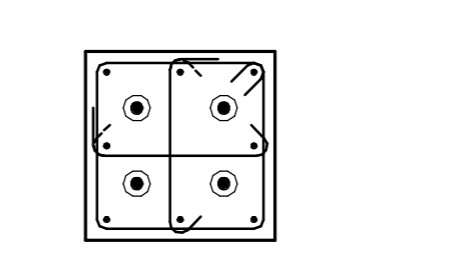
COLUMN START AT PAD FOOTING



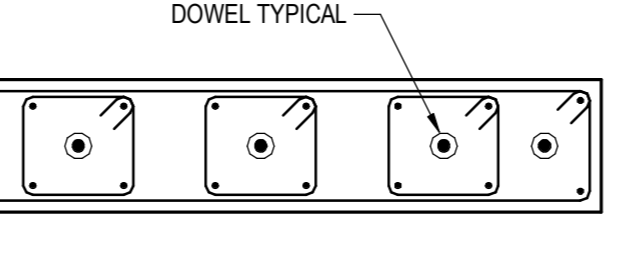
TYPE A



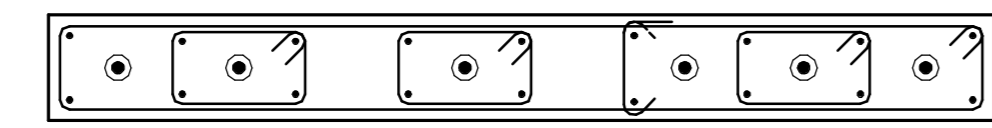
TYPE B



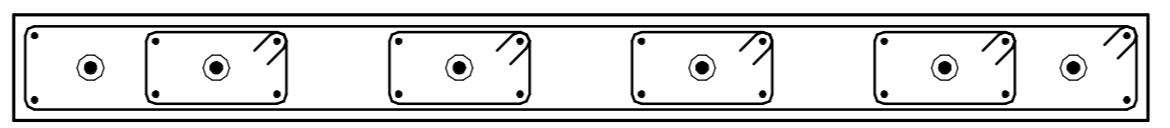
TYPE C



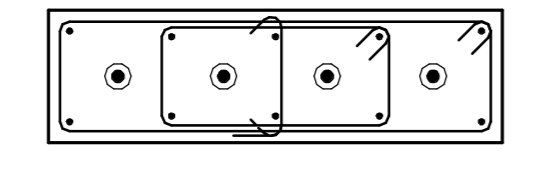
TYPE D



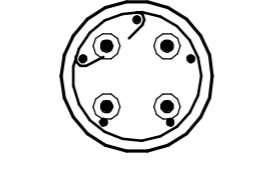
TYPE E



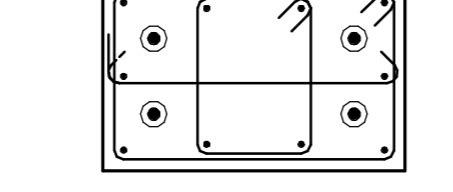
TYPE F



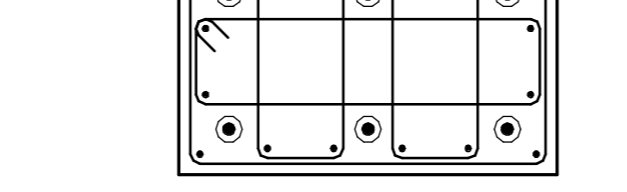
TYPE G



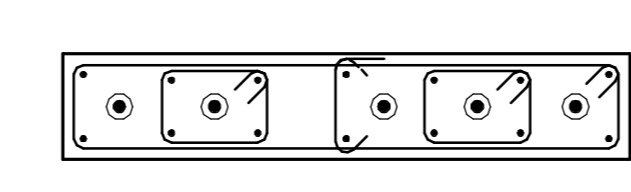
TYPE H



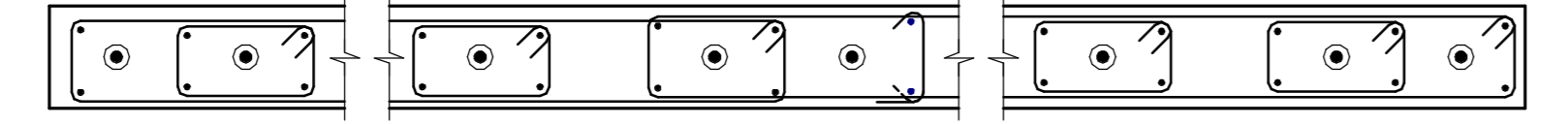
TYPE J



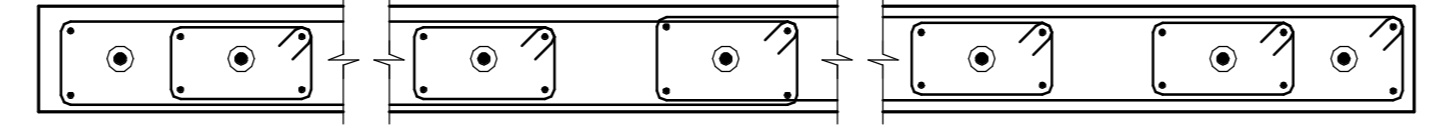
TYPE M



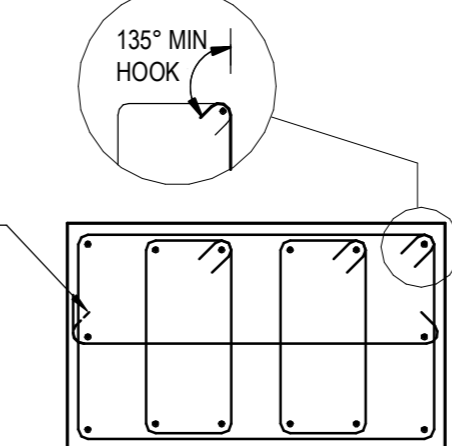
TYPE N



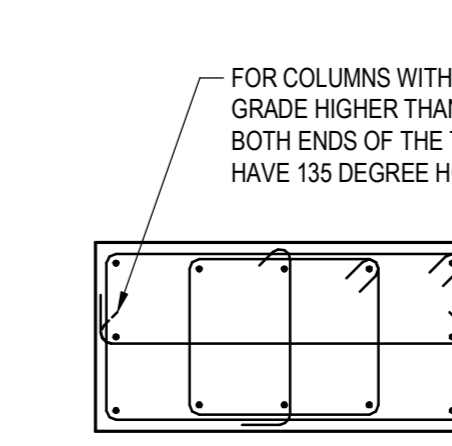
TYPE K



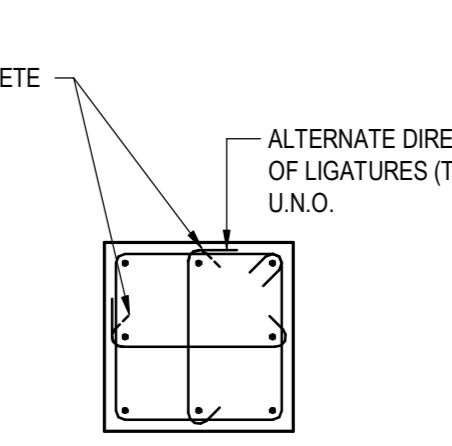
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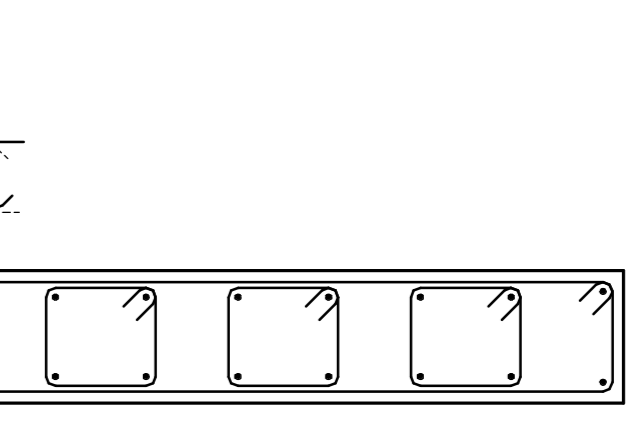
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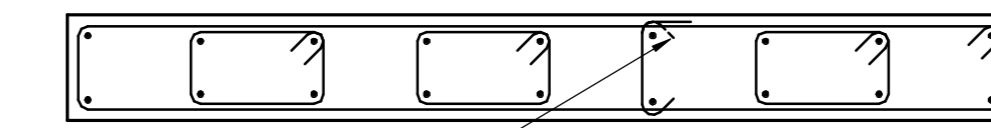
TYPE B



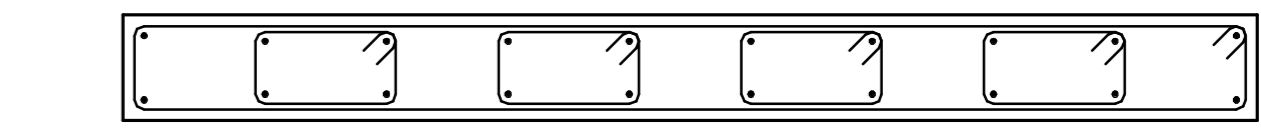
TYPE C



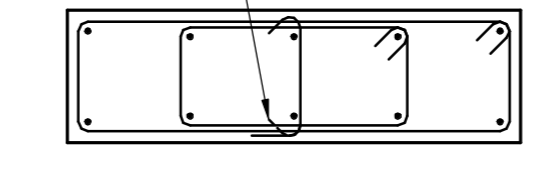
TYPE D



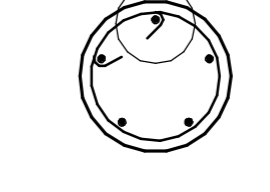
TYPE E



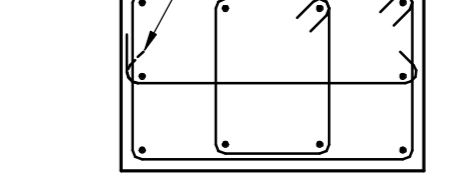
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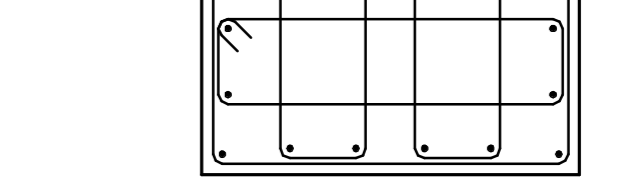
TYPE G



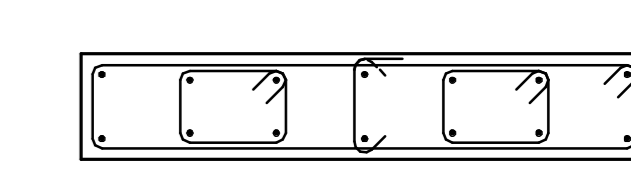
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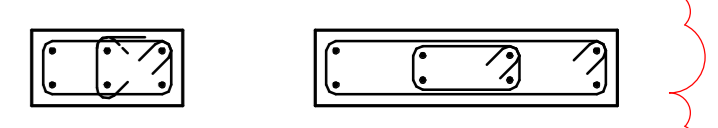
TYPE J



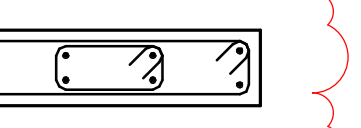
TYPE M



TYPE N



TYPE P



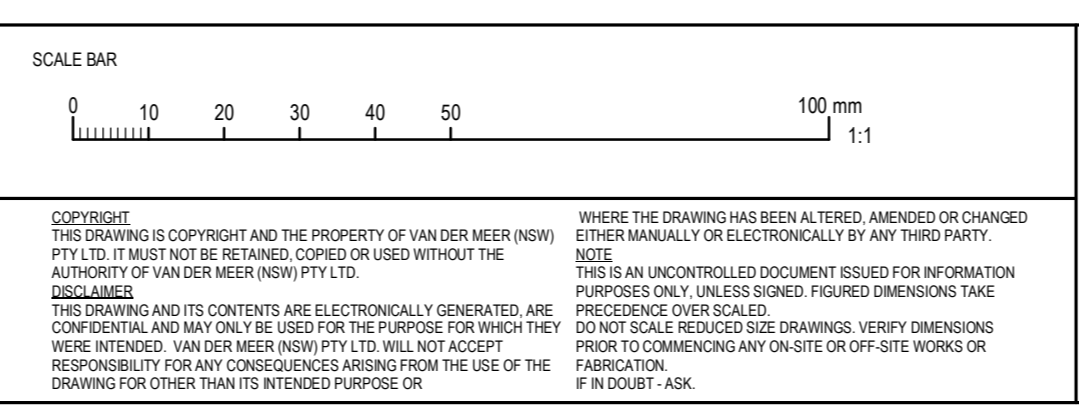
TYPE Q

**PRECAST COLUMN DOWEL NOTE:**  
 1. FOR DOWEL DETAILING, REFER TO "TYPICAL LOAD BEARING PRECAST TO SLAB/UPSTAND" DETAIL OR "TYPICAL LOAD BEARING PRECAST ONTO P/T SLAB ONTO LOAD BEARING PRECAST" DETAIL, AS APPLICABLE.  
 2. MINIMUM DOWEL SIZE IS THE SIZE OF THE VERTICAL BARS, REFER TO DOWEL DETAIL FOR CAST-IN / GROUTED LENGTHS AS APPROPRIATE.  
 3. DOWELS TO BE CENTRAL BETWEEN BARS, PROVIDE RELEVANT COVER BETWEEN GROUT TUBE & PANEL REINFORCEMENT.

**PRECAST COLUMN DOWEL ARRANGEMENT PER FITMENT**  
 SCALE 1:20

**COLUMN TIE ARRANGEMENT TYPE**  
 SCALE 1:20

NO.	REVISION DESCRIPTION	DRAWN	DATE
7	ISSUED FOR CONSTRUCTION	J.K.R.	23-12-2021
6	REVISIONS AS CLOUSED	J.K.R.	17-12-2021
5	REVISIONS AS CLOUSED	J.K.R.	10-12-2021
4	DETAILS ADDED (REGULATED DESIGN ISSUE RD3)	P.T.	17-11-2021
3	REVISIONS AS CLOUSED	J.K.R.	11-11-2021
2	REVISIONS AS CLOUSED (REGULATED DESIGN ISSUE RD2)	J.K.R.	08-10-2021
1	ISSUED FOR CONSTRUCTION (REGULATED DESIGN ISSUE RD1)	J.K.R.	27-08-2021
A	PRELIMINARY ISSUE	J.K.R.	25-08-2021



**PROBUILD**  
 85 MACQUARIE AVENUE  
 RUSHCUTTERS BAY, NSW, 2011

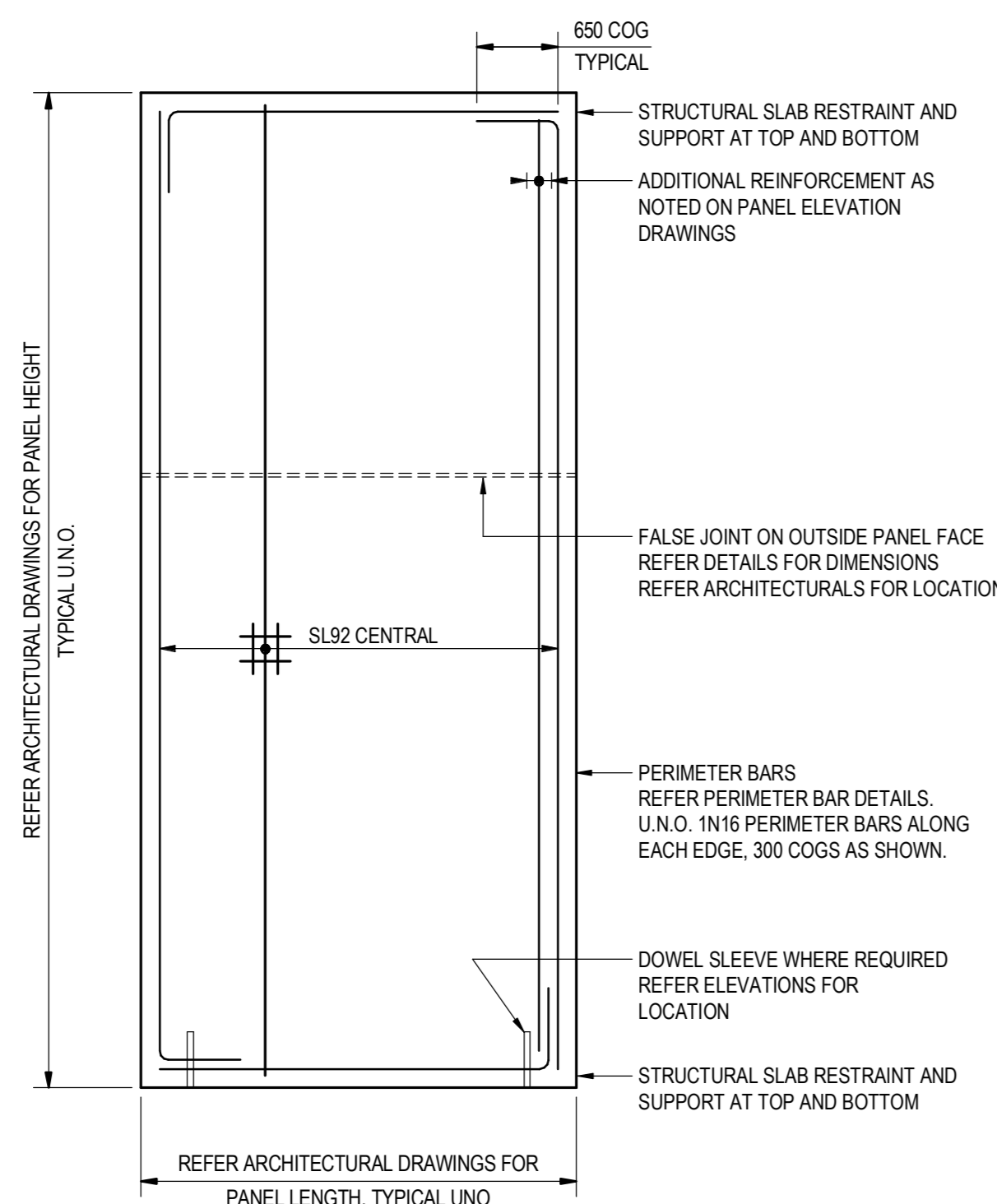
**CANDALEPAS ASSOCIATES**  
 309 SUSSEX STREET, SYDNEY, NSW, 2000  
 T: 02 9283 7755 F: 02 9283 7477

**PROJECT TITLE**  
 BUILDING C1, MIDTOWN ESTATE  
 HERRING ROAD, MACQUARIE PARK

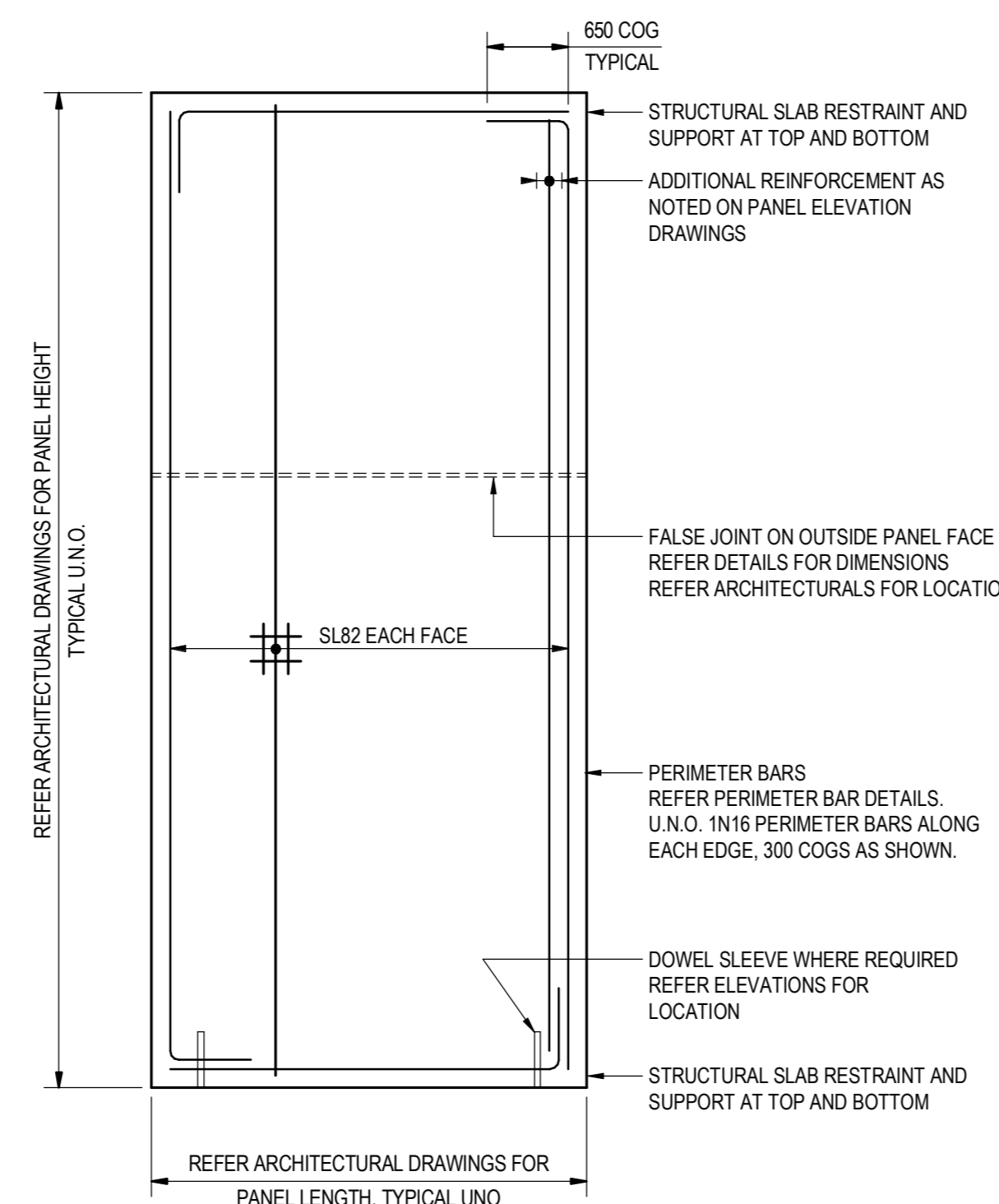
**DRAWING TITLE**  
 COLUMN DETAILS - SHEET 1

DRAWING STATUS			
FOR CONSTRUCTION			
PROJECT LEADER A.A.	DESIGNER A.A.	DATE AUGUST 2021	SHEET SIZE A0
DRAFTSPERSON J.K.R.	SCALE 1:20	DRAWING NO. SY210-098	SECTION 7

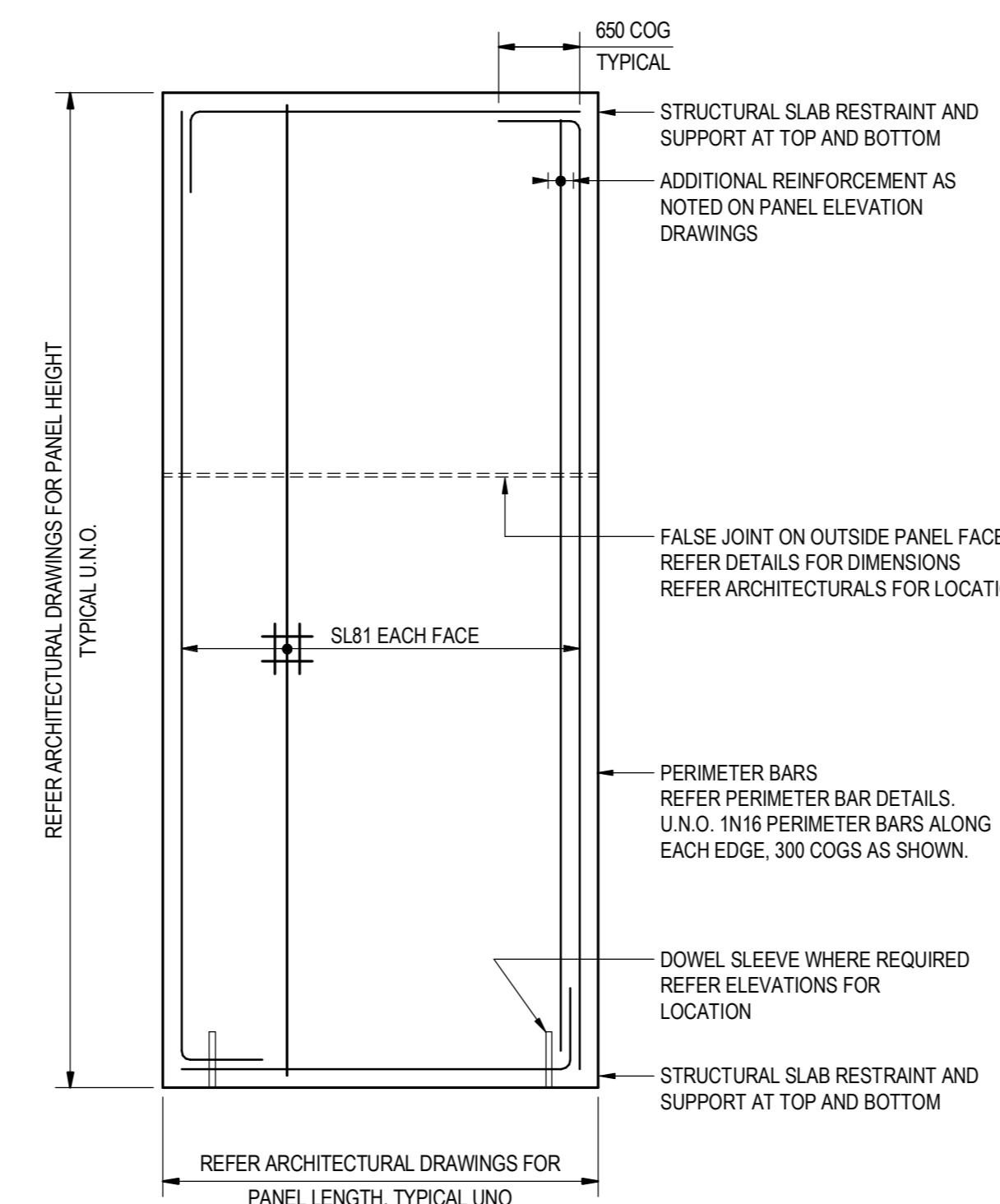
Regulated Design record			
Project Address: HERRING ROAD, MACQUARIE PARK			
Project Title: BUILDING C1, MIDTOWN ESTATE			
Consent No: SSD 8903		Body Corporate No: -	
Drawing Title: PRECAST WALL DETAILS - SHEET 1		Drawing Number: S65-51	
Rev	Date	Description	DP Full Name
RD1	03.12.21	FOR CONSTRUCTION	ASHKAN AFNANI ESFANDABADI
Reg No	DEP0001118		



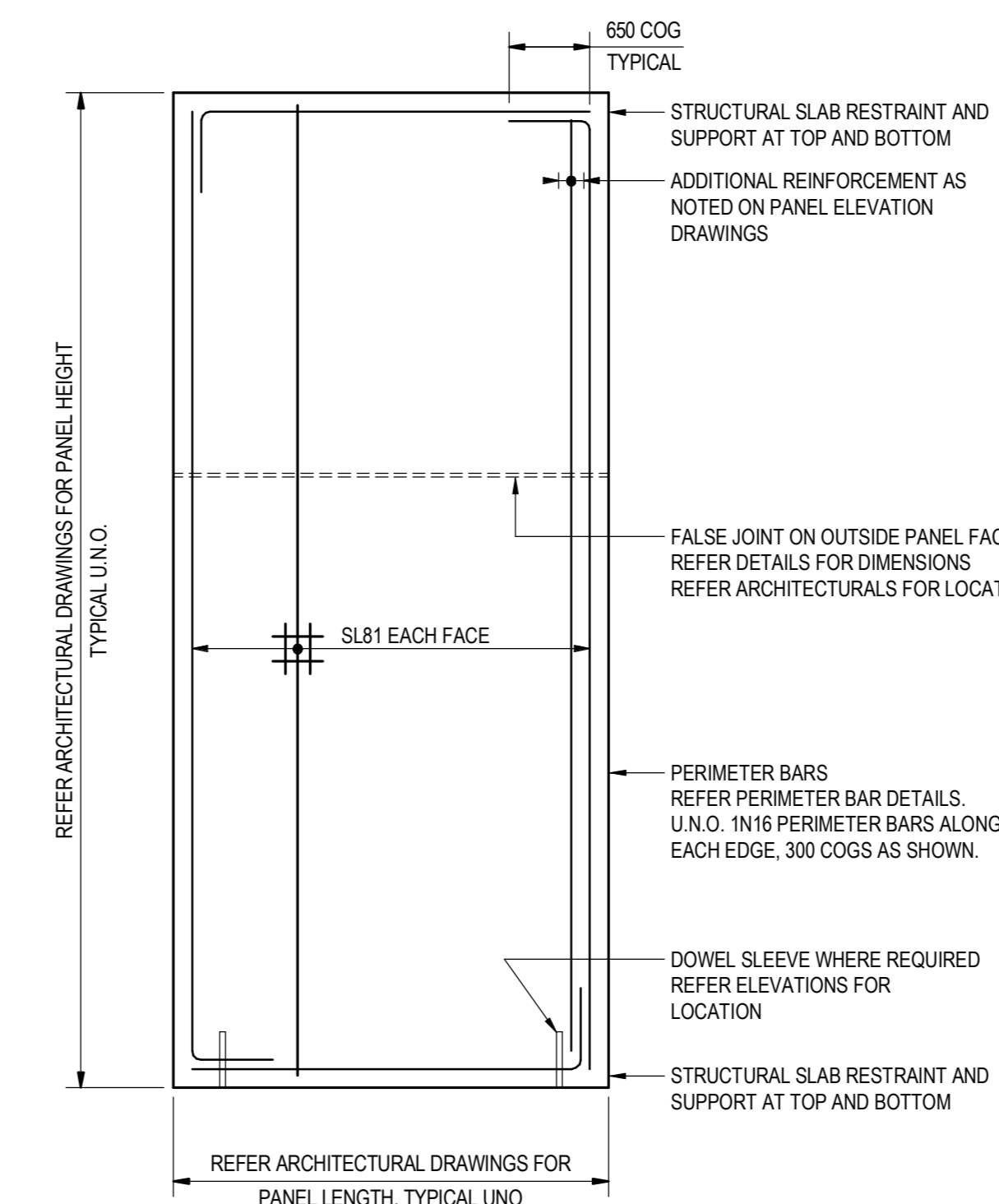
**CONCRETE PANEL TYPE - PW1**  
150 THICK NON LOAD BEARING  
SCALE 1:50  
NOTE: 150 MINIMUM STRUCTURAL THICKNESS



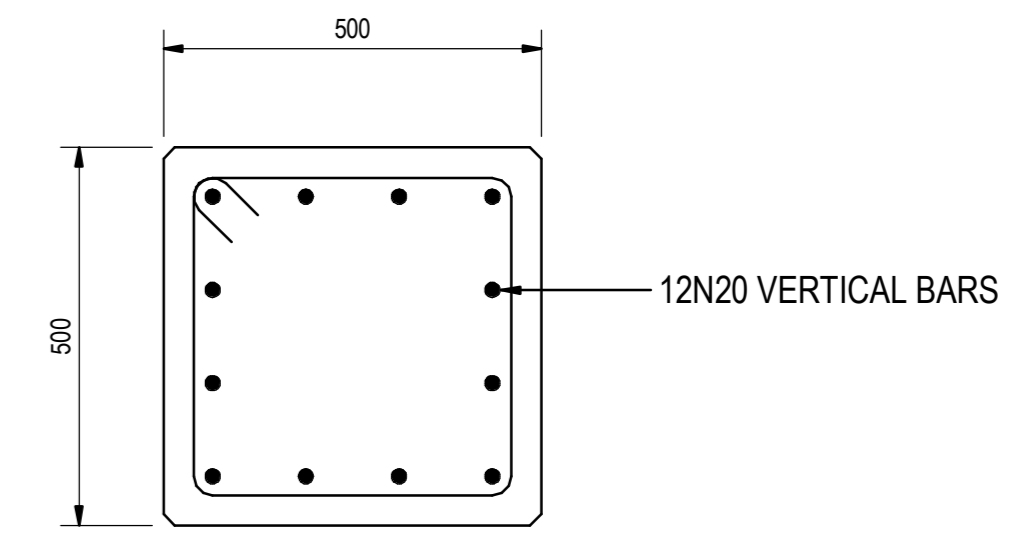
**CONCRETE PANEL TYPE - PW2**  
200 THICK NON LOAD BEARING  
SCALE 1:50



**CONCRETE PANEL TYPE - PW3**  
300 THICK NON LOAD BEARING  
SCALE 1:50

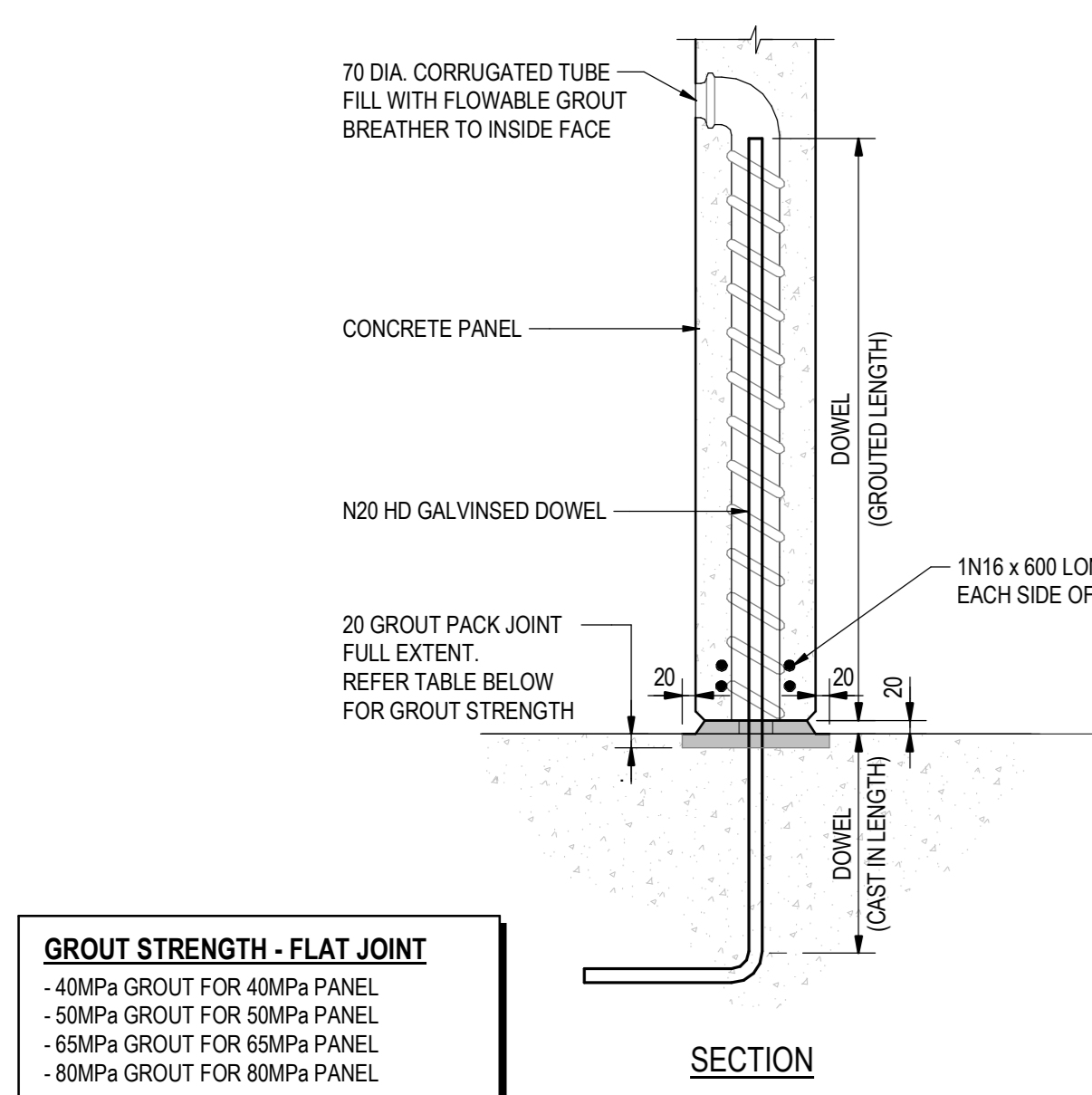


**CONCRETE PANEL TYPE - PW4**  
500 THICK LOAD BEARING  
SCALE 1:50



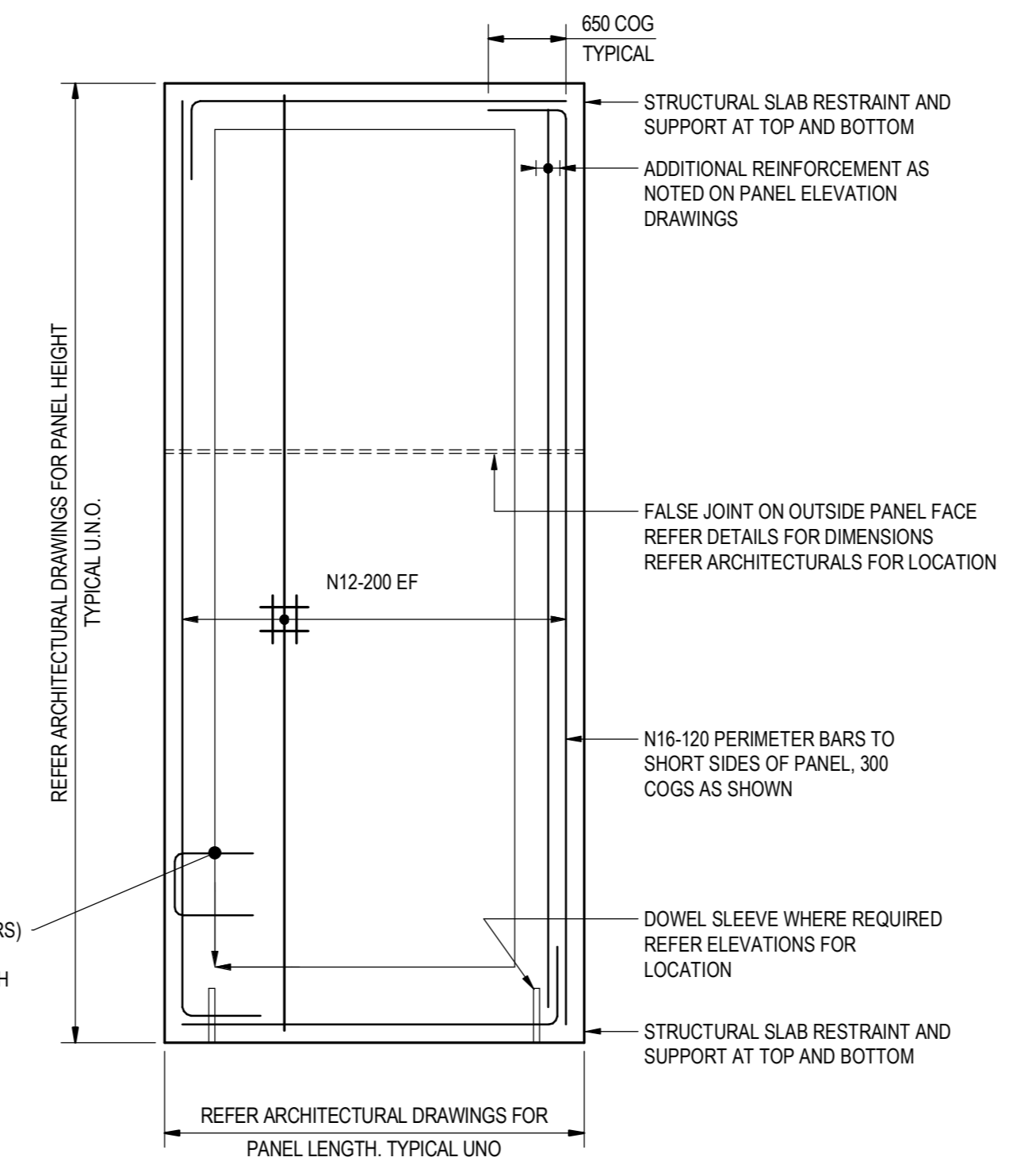
**CONCRETE PANEL TYPE - PW5**  
500 THICK NON LOAD BEARING  
SCALE 1:10

- NOTES:**  
1. REFER DRG. No. S01-01 AND S01-02 FOR STRUCTURAL NOTES  
2. REFER DRG. No. S01-51 AND S01-52 FOR TYPICAL DETAILS  
3. FOR ALL SET OUT DIMENSIONS, LEVELS, SET DOWNS, HOBS, KERBS AND FALLS, REFER TO ARCHITECTS DRAWINGS.

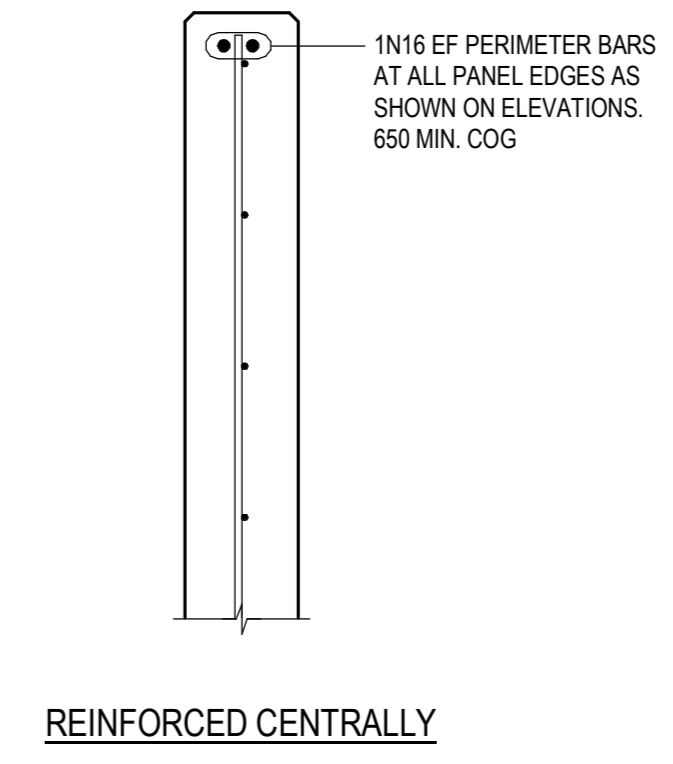


PANEL THICKNESS	DOWEL SIZE	CAST-IN LENGTH	GROUTED LENGTH
0-200	20	320	850
201-250	24	370	975
251-300	24	370	975
301-350	28	440	1100

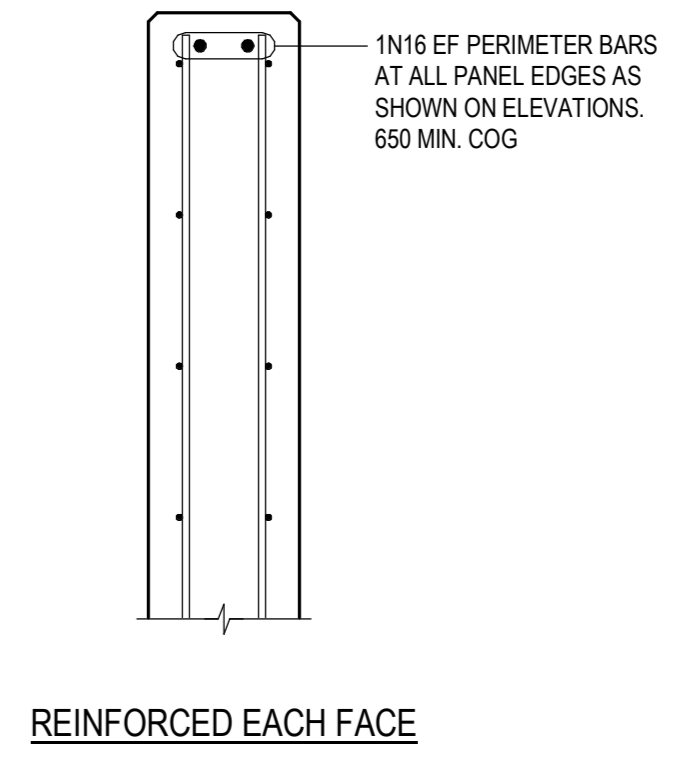
- 40MPa GROUT FOR 40MPa PANEL
- 50MPa GROUT FOR 50MPa PANEL
- 65MPa GROUT FOR 65MPa PANEL
- 80MPa GROUT FOR 80MPa PANEL



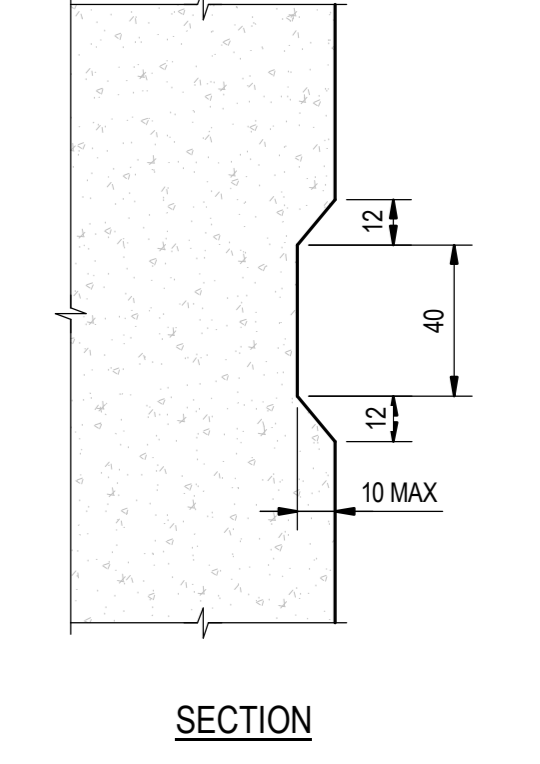
**CONCRETE PANEL TYPE - PW6**  
440 THICK LOAD BEARING  
SCALE 1:50



REINFORCED CENTRALLY

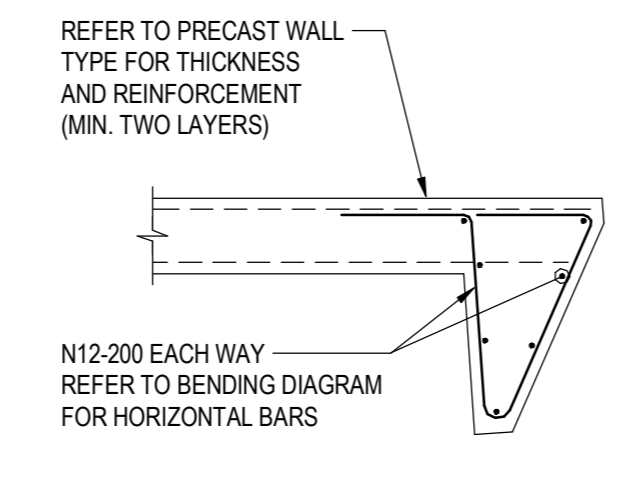


REINFORCED EACH FACE

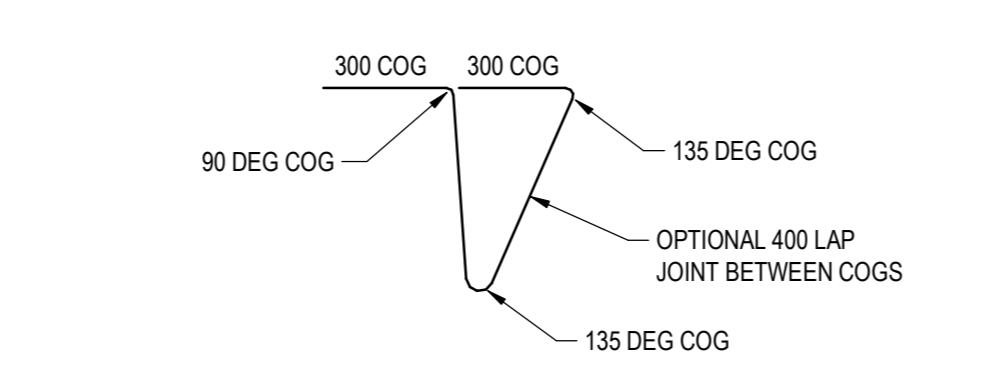


**TYPICAL FALSE JOINT DETAIL - FJ**  
SCALE 1:2  
REFER ARCHITECTS DRAWINGS FOR LOCATION

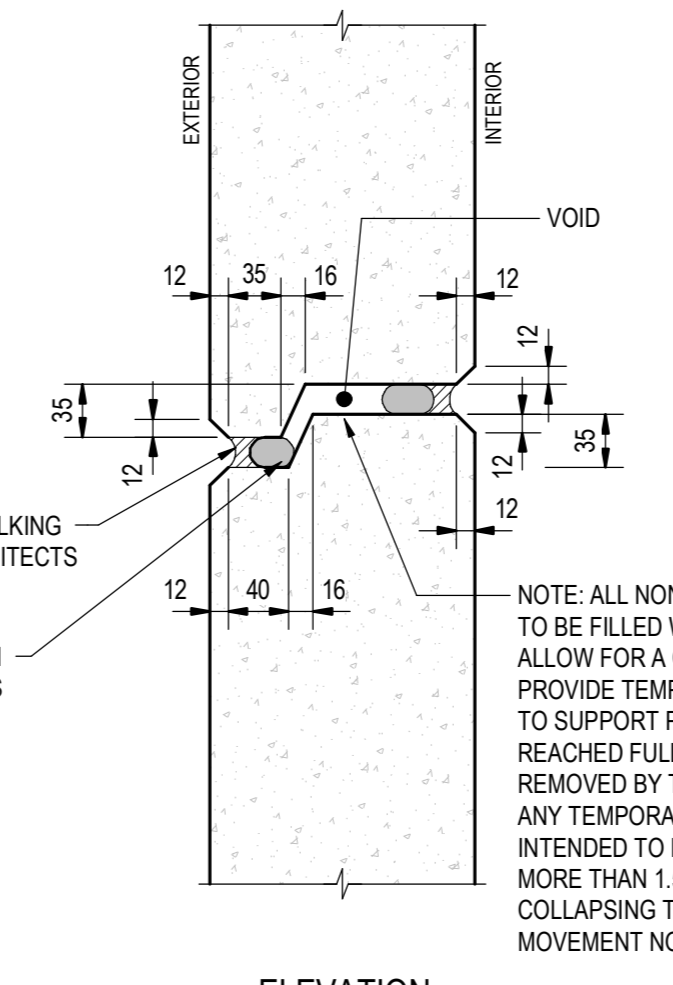
**PANEL PERIMETER BAR DETAILS**  
SCALE 1:10



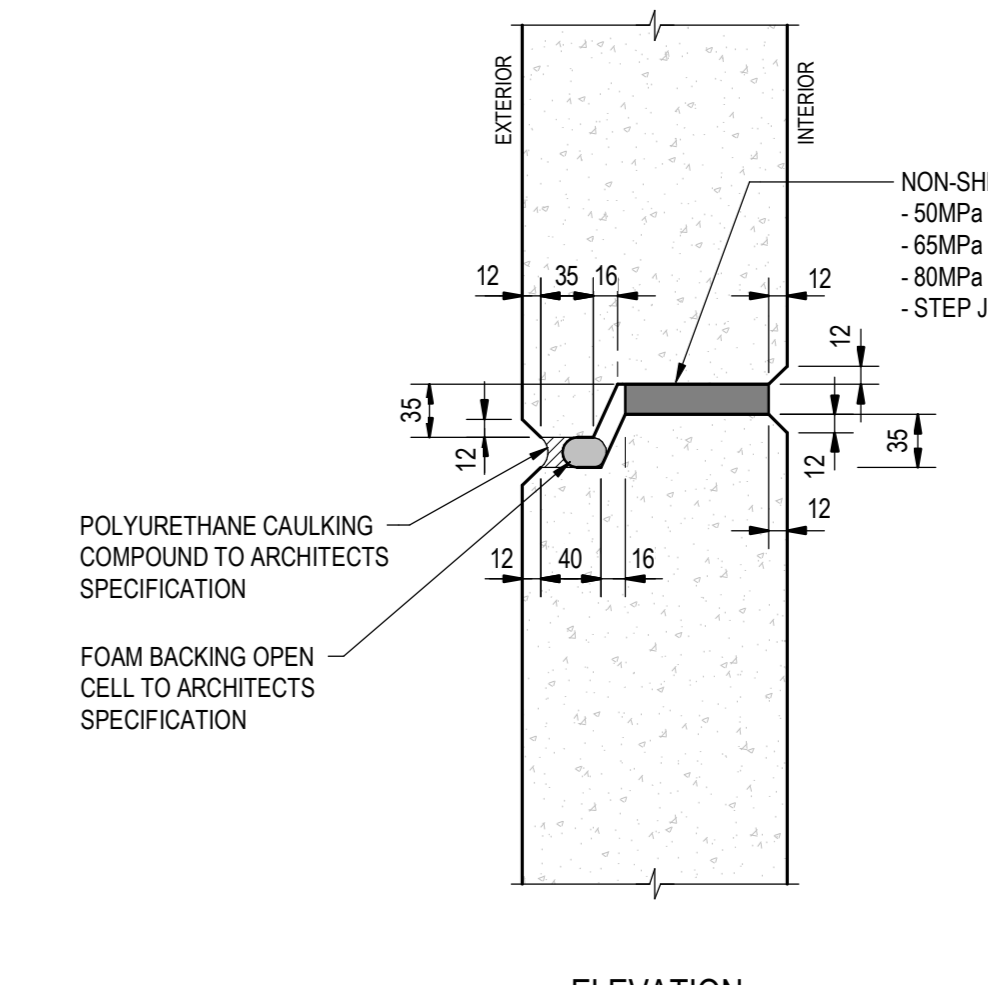
**FEATURE NIB WALL DETAIL**  
SCALE 1:10



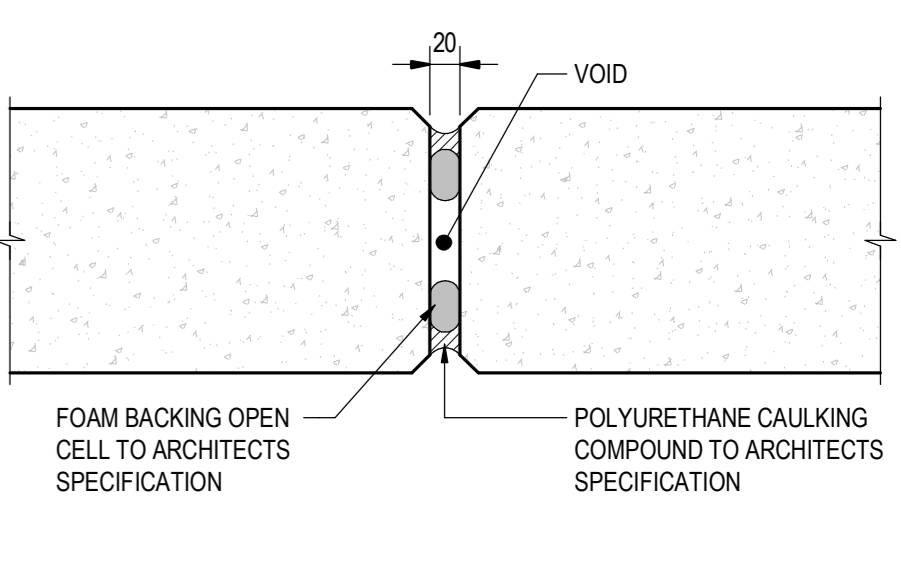
**FEATURE NIB WALL BAR BENDING DIAGRAM**  
SCALE 1:10



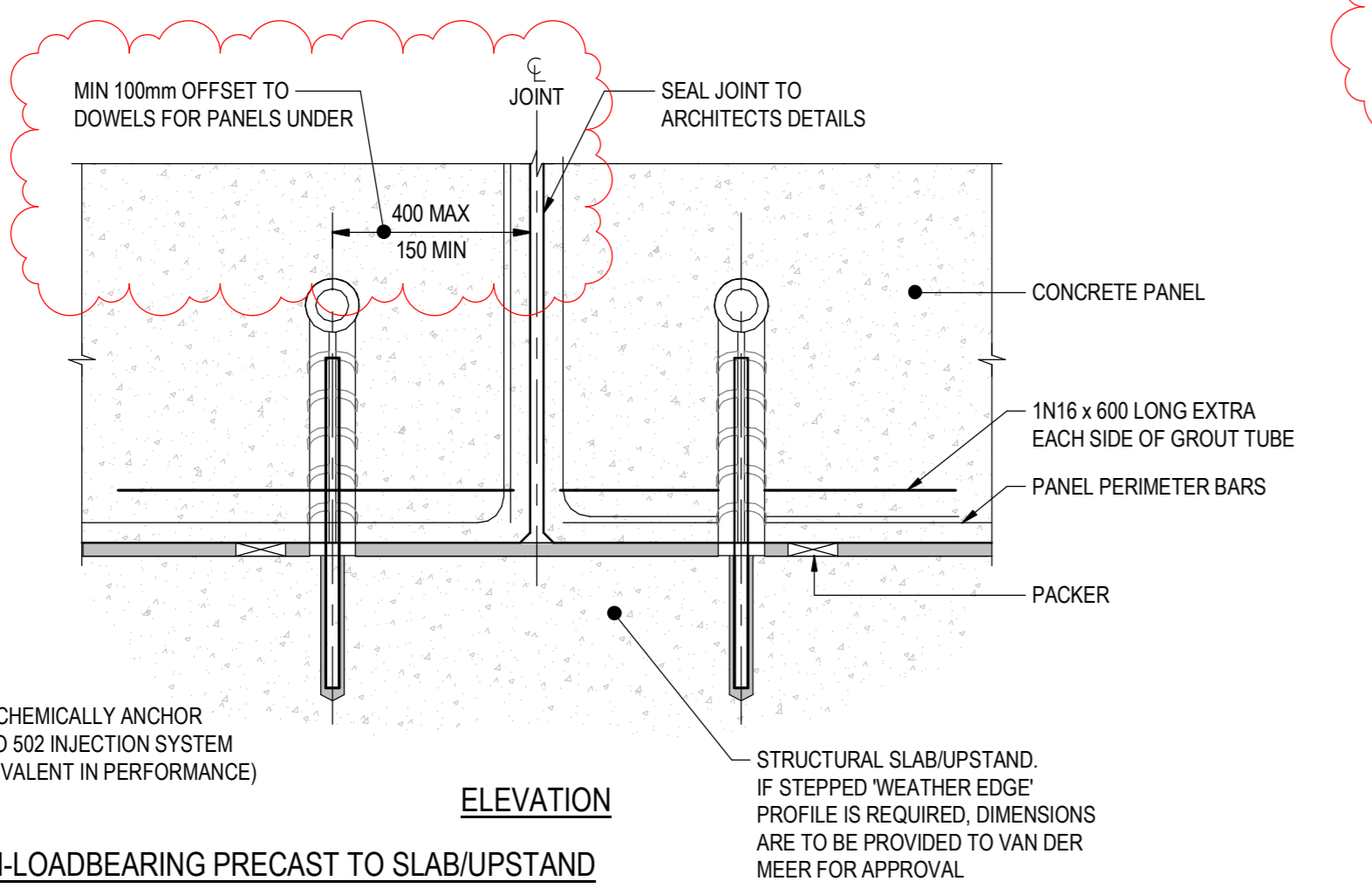
**HORIZONTAL STEP JOINT DETAIL**  
SCALE 1:5  
NOTE: IF DIMENSIONS VARY, PANEL CONTRACTOR TO SUBMIT DIMENSIONED WEATHER EDGE PROFILE TO ENGINEER FOR APPROVAL.



**HORIZONTAL STEP JOINT DETAIL**  
SCALE 1:5  
NOTE: IF DIMENSIONS VARY, PANEL CONTRACTOR TO SUBMIT DIMENSIONED WEATHER EDGE PROFILE TO ENGINEER FOR APPROVAL.



**VERTICAL JOINT DETAIL**  
SCALE 1:5  
NOTE: REFER ARCHITECTS SPECIFICATIONS FOR ANY FIRE RATED SEALANTS REQUIRED. TYPICAL

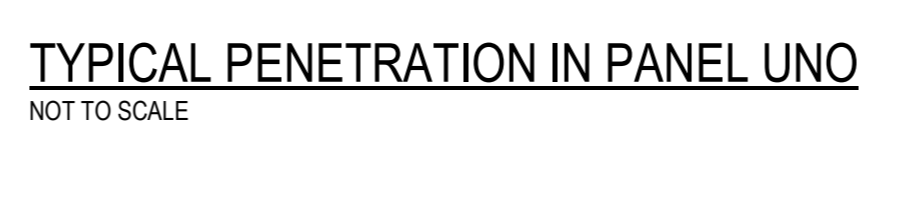


**TYPICAL NON-LOADBEARING PRECAST TO SLAB/UPSTAND CONNECTION TYPE 'D1'**  
SCALE 1:10

- NOTES:**  
1. U.N.O. PROVIDE DOWELS AT MAXIMUM 1000 CTS, MINIMUM TWO (2) PER PANEL.  
2. SLAB/UPSTAND REINFORCEMENT REQUIREMENTS NOT SHOWN FOR CLARITY.  
3. DO NOT CUT REINFORCEMENT WHEN DRILLING.  
4. WAIT 14 DAYS MINIMUM AFTER FINAL POST TENSIONING OF SLAB BEFORE FILLING GROUT TUBES. THIS IS TO ENSURE BUILT-IN STRESSES AND CRACKING IS CONTROLLED. REDUCTION IN GROUT TIMING TO 10 DAYS AFTER IS PERMISSIBLE HOWEVER MINOR CRACKING MAY OCCUR. BUILDERS RESPONSIBILITY TO REPAIR AS REQUIRED.



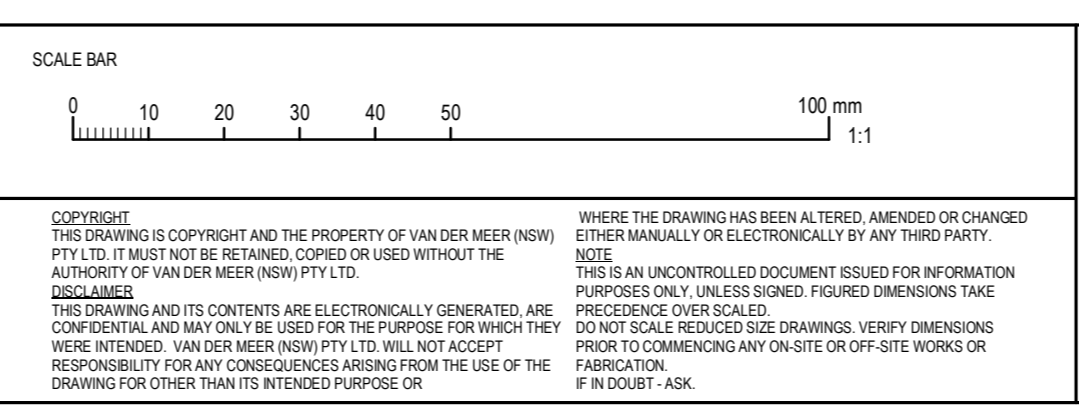
**TYPICAL RE-ENTRANT CORNER DETAIL IN PANEL**  
NOT TO SCALE



**TYPICAL PENETRATION IN PANEL UNO**  
NOT TO SCALE

- NOTE:**  
• ALL FISH PLATES, DOWELS AND CONNECTIONS TO BE HOT DIP GALVANISED.  
• SITE WELD CLIPS TO ALL STEEL MEMBERS A MINIMUM OF 25mm EACH SIDE U.N.O.  
• CLEAN AND COLD GALVANISE PAINT ALL CLIPS AFTER WELDING.  
• ALL BOLTS AT SLOTTED HOLES TO HAVE A 75 x 75 x 6 THICK GALVANISED WASHER.  
• ALL BOLTS AT OVER SIZED HOLES TO HAVE A 75 x 75 x 6 THICK GALVANISED WASHER.  
• ALL DOWELS TO BE GROUTED 56 DAYS MINIMUM AFTER FINAL POST TENSIONING, WHERE SLABS ARE PRESTRESSED.  
• ALL SLABS AND BEAMS SHALL BE PROPPED OR TEMPORARILY SUPPORTED UNTIL SLEEVES ARE GROUTED AND CURED FOR 45 HOURS MINIMUM.

No.	REVISION DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION (REGULATED DESIGN ISSUE RD1)	03-12-2021
2	PRELIMINARY ISSUE	17-11-2021
3	PRELIMINARY ISSUE	29-10-2021
4	PRELIMINARY ISSUE	27-10-2021



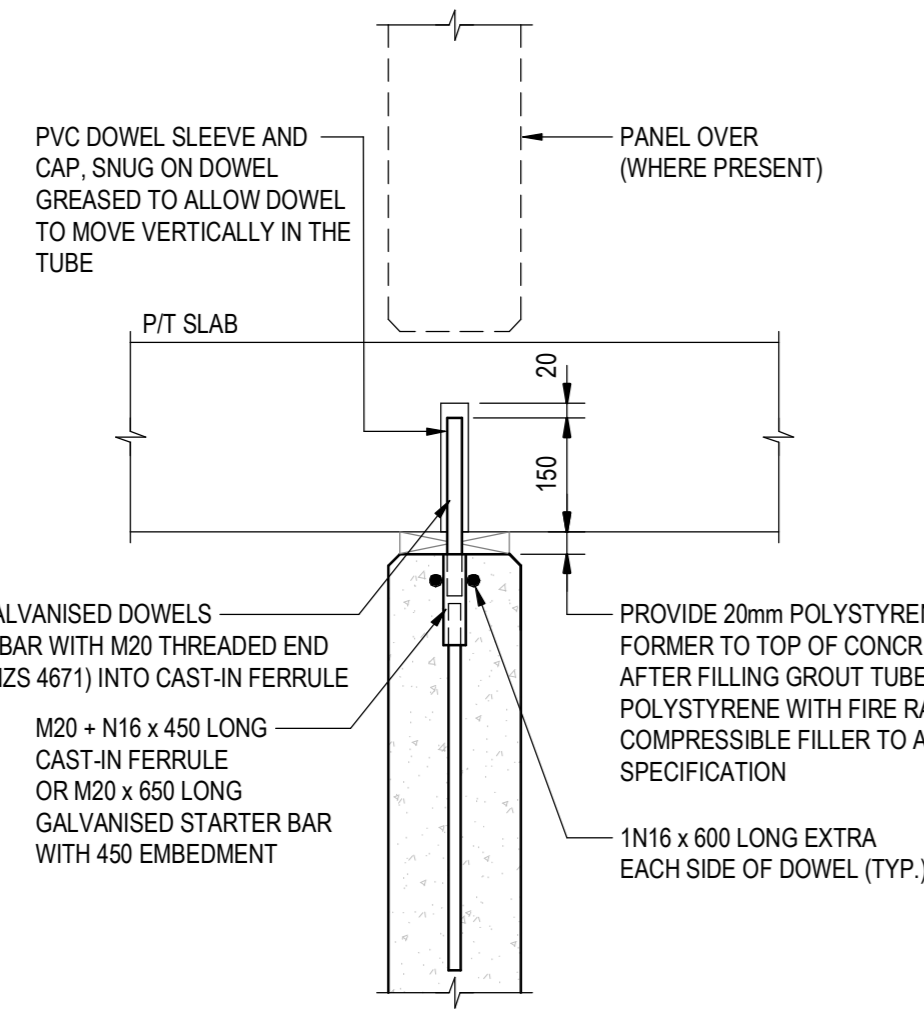
CLIENT	PROBUILD 85 MACLAHAN AVENUE RUSHCUTTERS BAY, NSW, 2011
PROJECT TITLE	BUILDING C1, MIDTOWN ESTATE HERRING ROAD, MACQUARIE PARK
DRAWING TITLE	PRECAST WALL DETAILS - SHEET 1
PROJECT LEADER	A.A.
DESIGNER	A.A.
DATE	15.11.2021
SCALE	1:5, 1:10, 1:20, 1:50
PROJECT NO.	SY210-098
DRAWING NO.	S65-51
SHEET NO.	1

PROJECT LEADER	A.A.
DESIGNER	A.A.
DATE	15.11.2021
SCALE	1:5, 1:10, 1:20, 1:50
PROJECT NO.	SY210-098
DRAWING NO.	S65-51
SHEET NO.	1



Regulated Design record			
Project Address: HERRING ROAD, MACQUARIE PARK			
Project Title: BUILDING C1, MIDTOWN ESTATE			
Consent No: SSD 8903		Body Corporate No: -	
Drawing Title: PRECAST WALL DETAILS - SHEET 2		Drawing Number: S65-52	
Rev	Date	Description	DP Full Name
RD1	03.12.21	FOR CONSTRUCTION	ASHKAN AFNANI ESFANDABADI
			Reg No
			DEP0001118

**NOTES:**  
1. REFER DRG. No. S01-01 AND S01-02 FOR STRUCTURAL NOTES  
2. REFER DRG. No. S01-51 AND S01-52 FOR TYPICAL DETAILS  
3. FOR ALL SET OUT DIMENSIONS, LEVELS, SET DOWNS, HOBS, KERBS AND FALLS, REFER TO ARCHITECTS DRAWINGS.

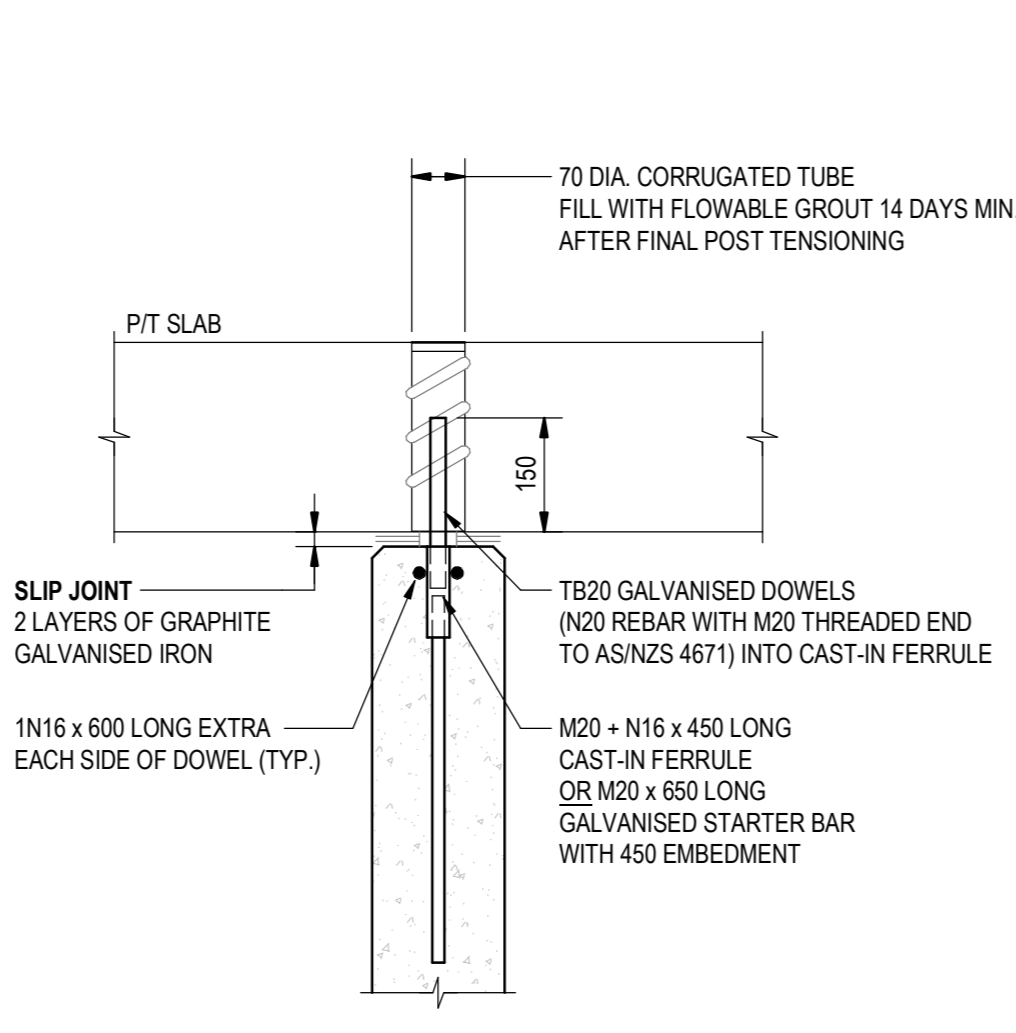


NON-LOAD BEARING

**TYPICAL P/T SLAB ONTO NON-LOAD BEARING PRECAST**

SCALE 1:10

- NOTES:**
1. PROVIDE CONNECTION AT MAXIMUM 750 CTS, MINIMUM TWO (2) PER PANEL.
  2. ADDITIONAL REINFORCEMENT REQUIRED IN SLAB, CONTACT VAN DER MEER.
  3. WAIT 14 DAYS MINIMUM AFTER FINAL POST TENSIONING OF SLAB BEFORE FILLING GROUT TUBES. THIS IS TO ENSURE BUILT-IN STRESSES AND CRACKING IS CONTROLLED. REDUCTION IN GROUT TIMING TO 10 DAYS AFTER IS PERMISSIBLE HOWEVER MINOR CRACKING MAY OCCUR, BUILDERS RESPONSIBILITY TO REPAIR AS REQUIRED.

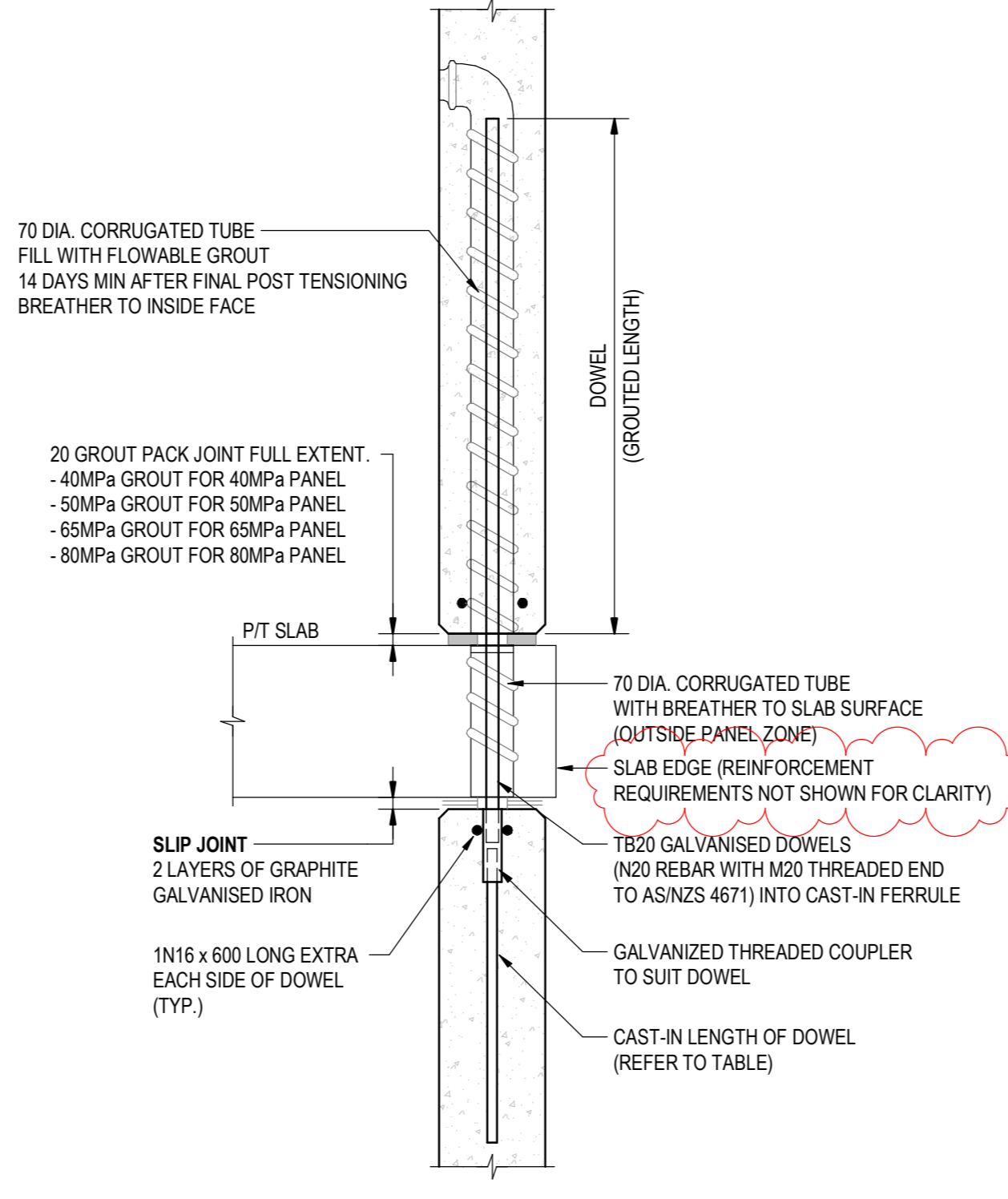


LOAD BEARING

**TYPICAL P/T SLAB ONTO LOAD BEARING PRECAST**

SCALE 1:10

- NOTES:**
1. PROVIDE CONNECTION AT MAXIMUM 750 CTS, MINIMUM TWO (2) PER PANEL.
  2. ADDITIONAL REINFORCEMENT REQUIRED IN SLAB, CONTACT VAN DER MEER.
  3. WAIT 14 DAYS MINIMUM AFTER FINAL POST TENSIONING OF SLAB BEFORE FILLING GROUT TUBES. THIS IS TO ENSURE BUILT-IN STRESSES AND CRACKING IS CONTROLLED. REDUCTION IN GROUT TIMING TO 10 DAYS AFTER IS PERMISSIBLE HOWEVER MINOR CRACKING MAY OCCUR, BUILDERS RESPONSIBILITY TO REPAIR AS REQUIRED.



LOAD BEARING

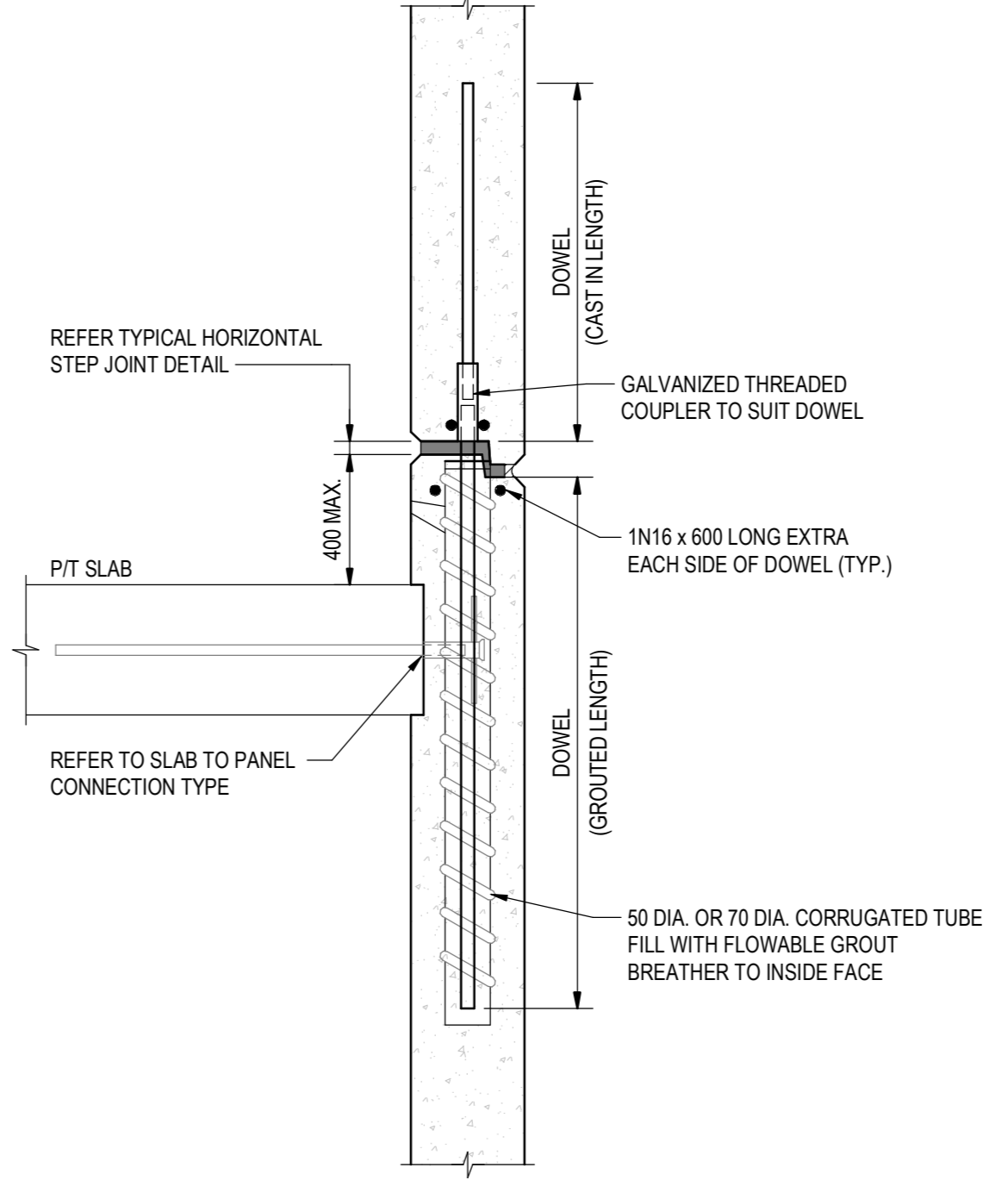
**TYPICAL LOAD BEARING PRECAST ONTO P/T SLAB ONTO LOAD BEARING PRECAST**

SCALE 1:10

- NOTES:**
1. PROVIDE CONNECTION AT MAXIMUM 300 CTS, MINIMUM TWO (2) PER PANEL.
  2. ADDITIONAL REINFORCEMENT REQUIRED IN SLAB, CONTACT VAN DER MEER.
  3. WAIT 14 DAYS MINIMUM AFTER FINAL POST TENSIONING OF SLAB BEFORE FILLING GROUT TUBES. THIS IS TO ENSURE BUILT-IN STRESSES AND CRACKING IS CONTROLLED. REDUCTION IN GROUT TIMING TO 10 DAYS AFTER IS PERMISSIBLE HOWEVER MINOR CRACKING MAY OCCUR, BUILDERS RESPONSIBILITY TO REPAIR AS REQUIRED.
  4. THREADED ENDS OF DOWELS TO SUIT AS/NZS 4671

**DOWEL (GALVANIZED) TABLE:**

PANEL THICKNESS	DOWEL SIZE	CAST-IN LENGTH	GROUTED LENGTH
0-200	20	650	850
201-250	24	700	975
251-300	24	700	975
301-350	28	825	1100



LOAD BEARING

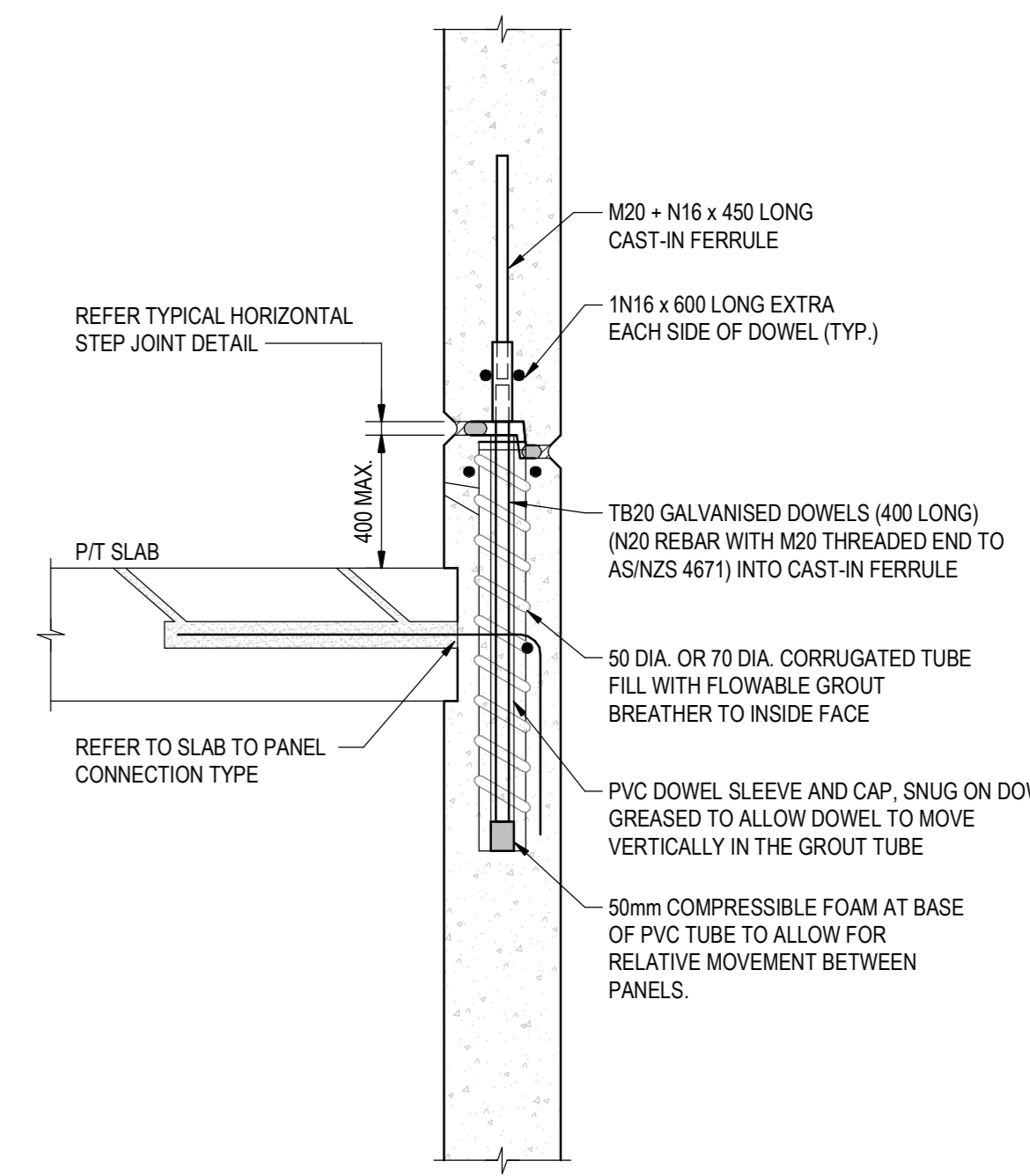
**TYPICAL PANEL ONTO PANEL CONNECTION FOR LOAD BEARING PRECAST (STEPPED)**

SCALE 1:10

- NOTES:**
1. PROVIDE CONNECTION AT MAXIMUM 300 CTS, MINIMUM TWO (2) PER PANEL.
  2. ADDITIONAL REINFORCEMENT REQUIRED IN SLAB, CONTACT VAN DER MEER.
  3. ONLY PERMITTED WHERE STATED IN COLUMN SCHEDULE 'STEP-JOINTS'.
  4. THREADED ENDS OF DOWELS TO SUIT AS/NZS 4671

**DOWEL (GALVANIZED) TABLE:**

PANEL THICKNESS	DOWEL SIZE	CAST-IN LENGTH	GROUTED LENGTH
0-200	20	650	850
201-250	24	700	975
251-300	24	700	975
301-350	28	825	1100

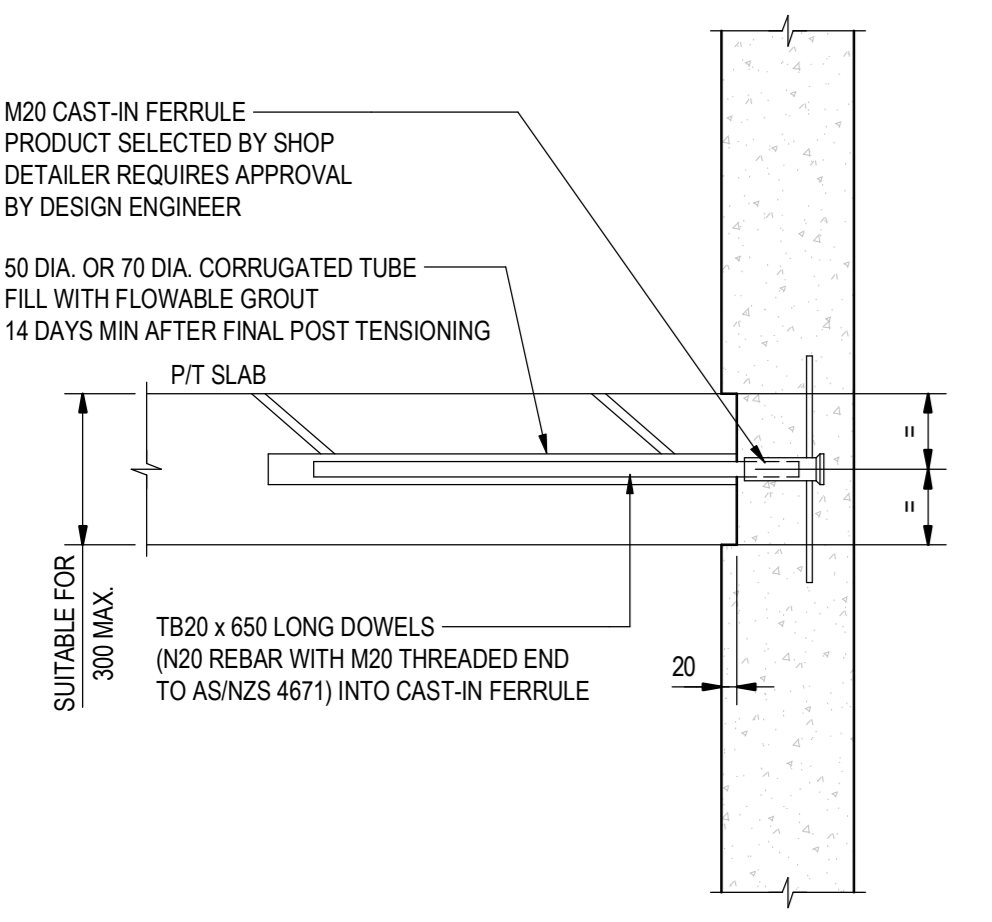


NON-LOAD BEARING

**TYPICAL PANEL ONTO PANEL CONNECTION FOR NON-LOAD BEARING PRECAST (STEPPED)**

SCALE 1:10

- NOTES:**
1. PROVIDE CONNECTION AT MAXIMUM 1000 CTS, MINIMUM TWO (2) PER PANEL.
  2. ADDITIONAL REINFORCEMENT REQUIRED IN SLAB, CONTACT VAN DER MEER.

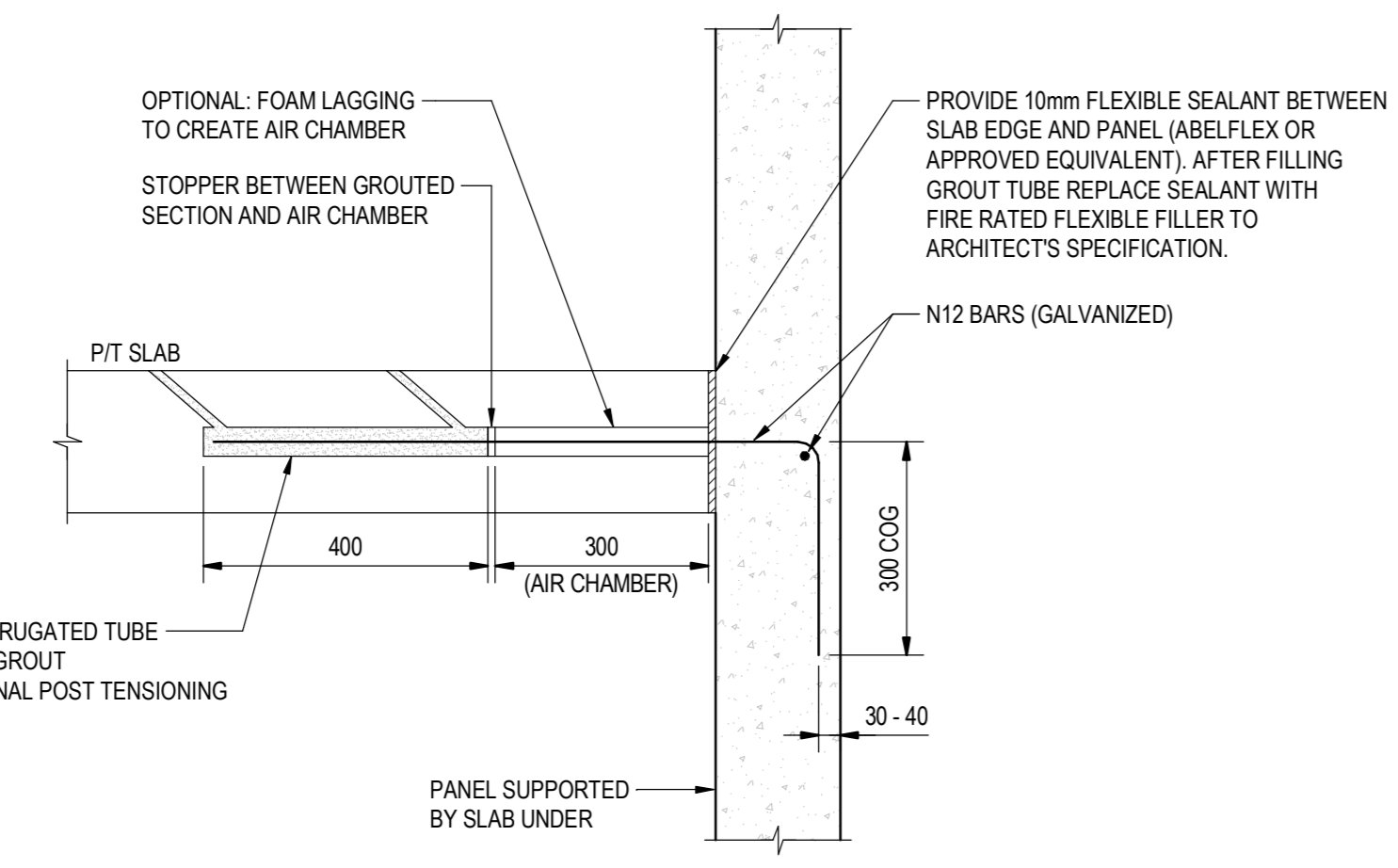


LOAD BEARING

**TYPICAL P/T SLAB INTO SIDE OF LOAD BEARING PRECAST WALL (PW4 & PW6)**

SCALE 1:10

- NOTES:**
1. PROVIDE CONNECTION AT MAXIMUM 300 CTS, MINIMUM TWO (2) PER PANEL.
  2. ADDITIONAL REINFORCEMENT REQUIRED IN SLAB, CONTACT VAN DER MEER.
  3. WAIT 14 DAYS MINIMUM AFTER FINAL POST TENSIONING OF SLAB BEFORE FILLING GROUT TUBES. THIS IS TO ENSURE BUILT-IN STRESSES AND CRACKING IS CONTROLLED. REDUCTION IN GROUT TIMING TO 10 DAYS AFTER IS PERMISSIBLE HOWEVER MINOR CRACKING MAY OCCUR, BUILDERS RESPONSIBILITY TO REPAIR AS REQUIRED.

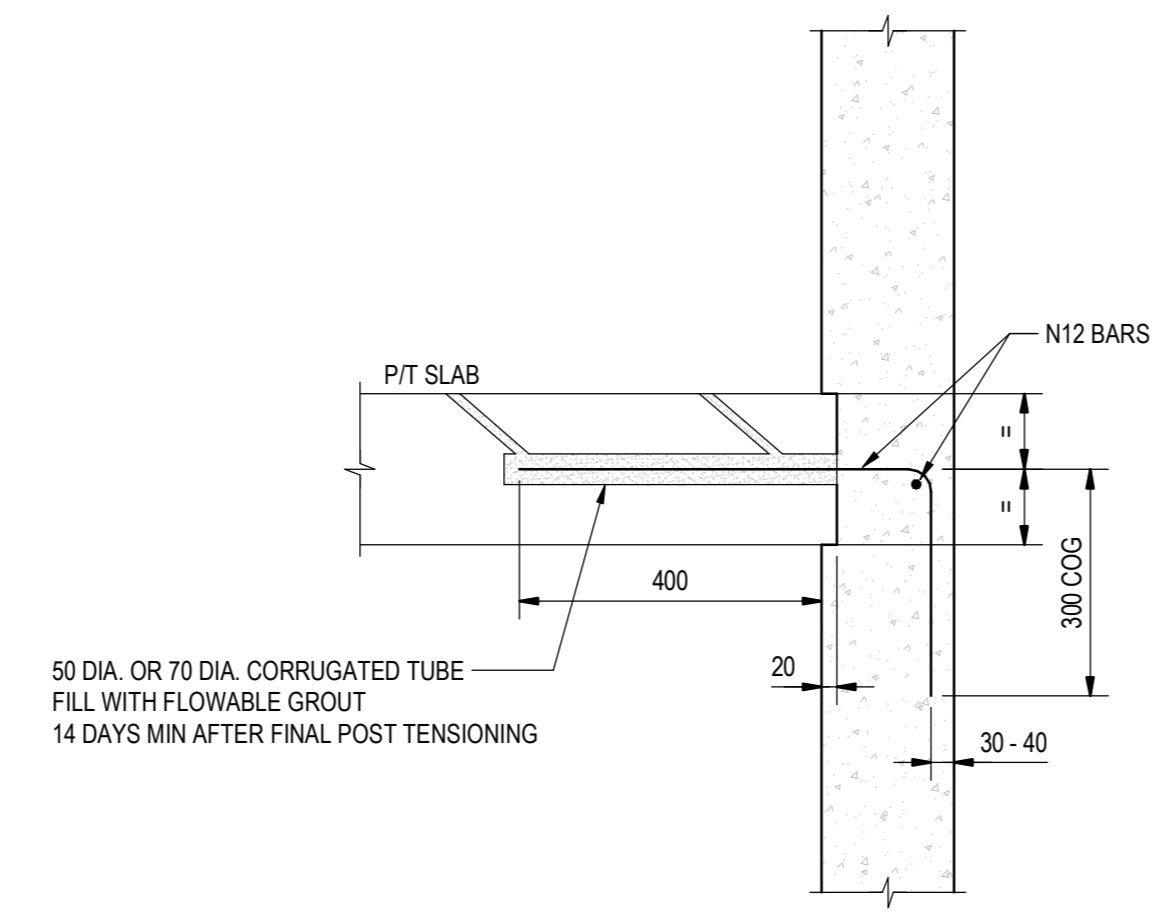


NON-LOAD BEARING

**TYPICAL P/T SLAB INTO SIDE OF NON-LOAD BEARING PRECAST - MID HEIGHT OF DOUBLE STOREY PANELS ONLY**

SCALE 1:10

- NOTES:**
1. PROVIDE CONNECTION AT MAXIMUM 750 CTS, MINIMUM TWO (2) PER PANEL.
  2. ADDITIONAL REINFORCEMENT REQUIRED IN SLAB, CONTACT VAN DER MEER.
  3. WAIT 14 DAYS MINIMUM AFTER FINAL POST TENSIONING OF SLAB BEFORE FILLING GROUT TUBES. THIS IS TO ENSURE BUILT-IN STRESSES AND CRACKING IS CONTROLLED. REDUCTION IN GROUT TIMING TO 10 DAYS AFTER IS PERMISSIBLE HOWEVER MINOR CRACKING MAY OCCUR, BUILDERS RESPONSIBILITY TO REPAIR AS REQUIRED.

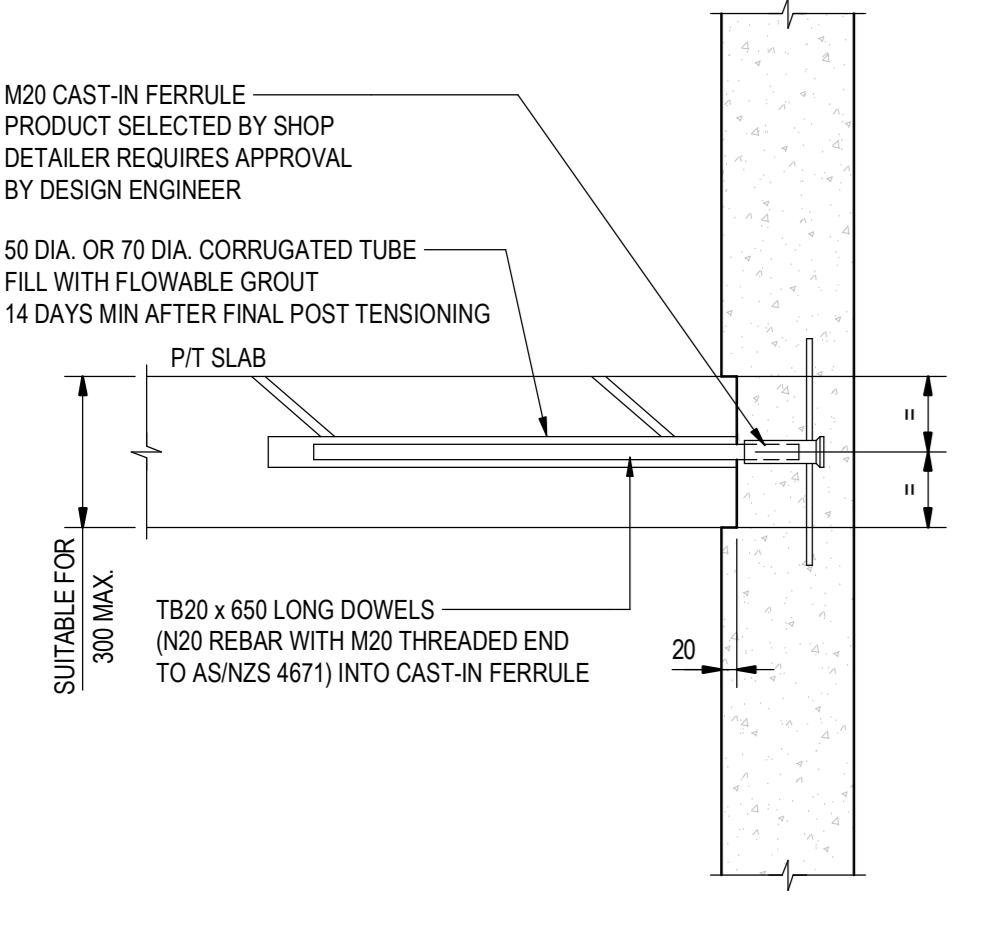


NON-LOAD BEARING

**TYPICAL P/T SLAB INTO SIDE OF NON-LOAD BEARING PRECAST**

SCALE 1:10

- NOTES:**
1. PROVIDE CONNECTION AT MAXIMUM 750 CTS, MINIMUM TWO (2) PER PANEL.
  2. ADDITIONAL REINFORCEMENT REQUIRED IN SLAB, CONTACT VAN DER MEER.
  3. WAIT 14 DAYS MINIMUM AFTER FINAL POST TENSIONING OF SLAB BEFORE FILLING GROUT TUBES. THIS IS TO ENSURE BUILT-IN STRESSES AND CRACKING IS CONTROLLED. REDUCTION IN GROUT TIMING TO 10 DAYS AFTER IS PERMISSIBLE HOWEVER MINOR CRACKING MAY OCCUR, BUILDERS RESPONSIBILITY TO REPAIR AS REQUIRED.



LOAD BEARING

**TYPICAL P/T SLAB INTO SIDE OF LOAD BEARING PRECAST COLUMNS**

SCALE 1:10

- NOTES:**
1. PROVIDE CONNECTION AT MAXIMUM 200 CTS, MINIMUM TWO (2) PER PANEL.
  2. ADDITIONAL REINFORCEMENT REQUIRED IN SLAB, CONTACT VAN DER MEER.
  3. WAIT 14 DAYS MINIMUM AFTER FINAL POST TENSIONING OF SLAB BEFORE FILLING GROUT TUBES. THIS IS TO ENSURE BUILT-IN STRESSES AND CRACKING IS CONTROLLED. REDUCTION IN GROUT TIMING TO 10 DAYS AFTER IS PERMISSIBLE HOWEVER MINOR CRACKING MAY OCCUR, BUILDERS RESPONSIBILITY TO REPAIR AS REQUIRED.

NO.	REVISION DESCRIPTION	BY	DATE
2	REVISIONS AS CLOUDED	J.K.R.	17-10-2021
1	ISSUED FOR CONSTRUCTION (REGULATED DESIGN ISSUE RD1)	J.K.R.	03-12-2021
0	PRELIMINARY ISSUE	J.K.R.	17-10-2021
A	PRELIMINARY ISSUE	J.K.R.	27-10-2021

SCALE BAR	0 10 20 30 40 50 100 mm
DATE	17-10-2021
DESIGNED BY	J.K.R.
CHECKED BY	J.K.R.
DATE	17-10-2021

LEVEL 6, 39 CHANDOS STREET  
SYDNEY NSW 2005  
Telephone 61-2-9436 0433 Fax 61-2-9436 1370

**PROBUILD**  
85 MACQUARIE AVENUE  
RUSHCUTTERS BAY, NSW, 2011

**CANDALEPAS ASSOCIATES**  
309 SUSSEX STREET, SYDNEY, NSW, 2000  
T: 02 9283 7755 F: 02 9283 7477

**PROJECT TITLE**  
BUILDING C1, MIDTOWN ESTATE  
HERRING ROAD, MACQUARIE PARK

**DRAWING TITLE**  
PRECAST WALL DETAILS - SHEET 2

**DRAWING STATUS**  
FOR CONSTRUCTION

PROJECT LEADER A.A.	DESIGNER A.A.	DATE 17-10-2021	SCALE 1:10	SHEET SIZE A0
DRAFTSPERSON J.K.R.	DATE 17-10-2021	SCALE 1:10	SHEET NO. S65-52	REVISION 2

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