

18 February 2022  
5800

Mr Kristopher Nelson  
Probuild  
85 McLachlan Avenue  
Rushcutters Bay NSW 2011

Dear Mr Nelson,

Re: **Design Verification Certificate  
CC5 Application – Determination No. SSD 8903 MOD2  
at Building C1, Ivanhoe Estate, Macquarie Park, NSW ("the Project")**

We write with reference to your request for a Design Verification Statement for the Project as required in accordance with conditions of SSD 8903 MOD2. For the purposes of this Design Verification statement, we note that a Development Consent for the project was issued by the Department of Planning on the 30 April 2020, with the most recent amended consent as at 7 May 2021.

This verification letter denotes that the architectural documentation for Construction Certificate 3D (refer attached schedule) is consistent with the approved Development Consent drawings and conditions of the Notice of Determination SSD 8903 MOD2, with the following exceptions;

- Basement public carpark access lift is excluded from this CC and will be the subject of a future CC.
- Minor amendments to apartment internal layouts and fire stairs/corridors arrangement to accommodate fire and structural engineering requirements, building services co-ordination and client brief.
- Position of mail boxes to suit mail delivery requirements.
- Configuration of entry stairs and landscaping to suit accessibility requirements

Please contact the undersigned without hesitation should you require further consideration relating to this matter.

Yours faithfully,  
CANDALEPAS ASSOCIATES



Jason Williams  
Principal

Encl: drawing schedule

309 SUSSEX STREET  
SYDNEY NSW 2000

Director:  
Angelo Candalepas

Principals:  
Evan Pearson  
Adrian Curtin  
Jason Williams  
Peter Kouvelas

Senior Associates:  
Jeremy Loblay  
Martin Christensen

Associates:  
Kingsley May  
Marty Bowen  
John Evans

Angelo Candalepas and  
Associates Pty Limited  
ABN 45 070 219 288

www.candalepas.com.au  
info@candalepas.com.au

+61 2 9283 7755

Nominated Architect:  
Angelo Candalepas  
Registration No NSW 5773  
Registration No VIC 17978  
Registration No WA 2405  
Registration No ACT 2603  
Registration No QLD 5463

**DRAWING SCHEDULE**

A 2304.1 [A] LG CONCRETE SETOUT WEST  
A 2304.2 [A] LG CONCRETE SETOUT CENTRE  
A 2304.3 [A] LG CONCRETE SETOUT EAST 1  
A 2304.4 [A] LG CONCRETE SETOUT EAST 2  
A 2305.1 [A] UG CONCRETE SETOUT WEST  
A 2305.2 [A] UG CONCRETE SETOUT CENTRE  
A 2305.3 [A] UG CONCRETE SETOUT EAST

A-600-002 Lower Ground Overall  
A-600-003\_C Upper Ground – Overall  
A-610-007\_B Lower Ground - East - Sheet 7  
A-610-008 Upper Ground - East - Sheet 8  
A-610-009\_B Upper Ground - East - Sheet 9  
A-610-010\_B Upper Ground - East - Sheet 10  
A-610-011 Upper Ground - East - Sheet 11  
A-610-012\_B Upper Ground - East - Sheet 12  
A-610-013\_B Upper Ground - East - Sheet 13  
A-610-014\_B Upper Ground - East - Sheet 14  
A-610-201\_B Lower Ground - West - Sheet 1  
A-610-202\_B Lower Ground - West - Sheet 2  
A-610-203\_B Lower Ground - West - Sheet 3  
A-610-204\_B Lower Ground - West - Sheet 4  
A-610-205\_B Lower Ground - West - Sheet 5  
A-610-206\_B Lower Ground - West - Sheet 6  
A-610-207\_B Lower Ground - West - Sheet 7  
A-610-208\_B Lower Ground - West - Sheet 8  
A-610-209\_C LG & UG - West - Sheet 9  
A-610-301\_B Lower Ground - North - Sheet 01  
A-610-302 Lower Ground - North - Sheet 02  
A-610-303\_B Lower Ground - North - Sheet 03  
A-610-304\_B Lower Ground - North - Sheet 04  
A-610-305\_B Lower Ground - North - Sheet 05  
A-610-306\_B Upper Ground - North - Sheet 06  
A-610-307\_B Upper Ground - North - Sheet 07  
A-610-308 Upper Ground - North - Sheet 08  
A-610-309\_B Upper Ground - North - Sheet 09  
A-611-001\_C Basement 1 - North - Sheet 1  
A-611-008\_B Lower Ground - North- Sheet 1  
A-611-011 Lower Ground - North - Sheet 6  
A-611-014\_B Lower Ground - North - Sheet 9  
A-611-015\_B Lower Ground - North - Sheet 10  
A-611-016\_B Lower Ground - North - Sheet 11  
A-612-009\_C B1 & LG & UG - West - Sheet 9  
A-612-010\_C LG & UG - West - Sheet 10  
A-612-011\_B Upper Ground - West - Sheet 11  
A-612-012\_B Upper Ground - West - Sheet 12  
A-612-013\_C Basement 1 - East - Sheet 13  
A-612-014\_C Upper Ground - West - Sheet 14  
A-612-015\_B Upper Ground - West - Sheet 15

A-612-016\_B Upper Ground - West - Sheet 16  
A-612-017\_B Upper Ground - West - Sheet 17  
A-612-103\_B Lower Ground - North - Sheet 3  
A-612-104\_B Lower Ground - North - Sheet 4  
A-612-105\_B Lower Ground - North - Sheet 5  
A-612-106\_B Lower Ground - North - Sheet 6  
A-612-107\_B Upper Ground - North - Sheet 7  
A-612-108 Upper Ground - North - Sheet 8  
A-612-109 Upper Ground - North - Sheet 9  
A-612-110\_B Upper Ground - North - Sheet 10  
A-612-111\_B Upper Ground - North - Sheet 11  
A-612-206\_C LG & UG - East - Sheet 6  
A-612-207\_B Lower Ground - East - Sheet 7  
A-612-208\_C LG & UG - East - Sheet 8  
A-612-209\_D LG & UG - East - Sheet 9  
A-612-210\_C LG & UG - East - Sheet 10  
A-612-212\_B Upper Ground - East - Sheet 12  
A-612-213\_B Upper Ground - East - Sheet 13  
A-613-002\_B Lower Ground - East - Sheet 2  
A-613-003\_B Lower Ground - East - Sheet 3  
A-613-004\_B Lower Ground - East - Sheet 4  
A-613-005\_B Upper Ground - East - Sheet 5  
A-613-006\_B Upper Ground - East - Sheet 6  
A-613-007\_B Upper Ground - East - Sheet 7  
A-613-008\_B Upper Ground - East - Sheet 8  
A-613-101\_C Lower Ground - South - Sheet 1  
A-613-103\_B Upper Ground - South - Sheet 3  
A-613-104\_B Upper Ground - South - Sheet 4  
A-613-105\_B Upper Ground - South - Sheet 5  
A-613-106\_B Upper Ground - South - Sheet 6  
A-613-201\_B Upper Ground - West - Sheet 1  
A-613-202\_B Upper Ground - West - Sheet 2  
A-613-203\_B Upper Ground - West - Sheet 3  
A-613-204\_B Upper Ground - West - Sheet 4  
A-614-001\_B Lower Ground - West - Sheet 1  
A-614-002\_B Lower Ground - West - Sheet 2  
A-614-003\_B Lower Ground - West - Sheet 3  
A-614-004\_B Lower Ground - West - Sheet 4  
A-614-005\_B Upper Ground - West - Sheet 5  
A-614-201\_C Lower Ground - East - Sheet 1  
A-614-202\_C Lower Ground - East - Sheet 2  
A-614-204\_B Upper Ground - East - Sheet 4  
A-614-205\_B Upper Ground - East - Sheet 5  
A-614-206\_B Upper Ground - East - Sheet 6  
A-614-301\_B Lower Ground - South - Sheet 1  
A-614-302\_B Lower Ground - South - Sheet 2  
A-614-303\_B Lower Ground - South - Sheet 3  
A-614-304\_B Lower Ground - South - Sheet 4  
A-614-305\_B Lower Ground - South - Sheet 5  
A-614-306\_B Upper Ground - South - Sheet 6  
A-614-307\_B Upper Ground - South - Sheet 7

## CONSTRUCTION CERTIFICATE No. J/74556/06

Issued under the Environmental Planning and Assessment Act 1979 Sections 6.4 and 6.7

### Owner

Name: NSW Land and Housing Corporation  
 Address: Level 5, 219-241 Cleveland Street, Strawberry Hills NSW 2012

### Property details

Address: 2-4 Lyonpark Road, MACQUARIE PARK NSW 2113  
 Lot/Portion No: 1, 100  
 DP No: 859537, 1262209  
 Municipality: City of Ryde

### Description and value of development

Description: Stage 1 development application for the redevelopment of the Ivanhoe Estate, including:

- site preparation works, including removal of trees, demolition, bulk earthworks and excavation
- construction of new roads, bridge over Shrimptons Creek and new road connection to Lyonpark Road
- construction of two residential apartment buildings (Building A1 and Building C1) with basement car parking:
- Building A1 with 269 apartments, 233 car parking spaces and a child centre
- Building C1 with 471 apartments and 346 car parking spaces
- Landscaping and public domain works
- Amalgamation and subdivision

Value of work: \$90,394,792.00 (overall development)

### Building Code of Australia building classification

Part: Building C1 – Lower & Upper Ground Slab and Precast Panels  
 Use: Residential, Car Park, Storage  
 BCA classification: 2, 7a & 7b

### Determination

Approved/Refused: Approved  
 Date of Determination: 10/03/2022

### Plans and specifications approved

- MGC Approved Plans prepared by ProBuild numbered: A-600-002[B], A-600-003[C], A-610-007[B], A-610-008[A], A-610-009[B], A-610-010[B], A-610-011[A], A-610-012[B], A-610-013[B], A-610-014[B], A-610-201[B], A-610-202[B], A-610-203[B], A-610-204[B], A-610-205[B], A-610-206[B], A-610-207[B], A-610-208[B], A-610-209[C], A-610-301[B], A-610-302[A], A-610-303[B], A-610-304[B], A-610-305[B], A-610-306[B], A-610-307[B], A-610-308[A], A-610-309[B], A-611-001[C], A-611-008[B], A-611-011[A], A-611-014[B], A-611-015[B], A-611-016[B], A-612-009[C], A-612-010[C], A-612-011[B], A-612-012[B], A-612-013[C], A-612-014[C], A-612-015[B], A-612-016[B], A-612-017[B], A-612-103[B], A-612-104[B], A-612-105[B], A-612-106[B], A-612-107[B], A-612-108[A], A-612-109[A], A-612-110[B], A-612-111[B], A-612-206[C], A-612-207[B], A-612-208[C], A-612-209[D], A-612-210[C], A-612-212[B], A-612-213[B], A-613-002[B], A-613-003[B], A-613-004[B], A-613-005[B], A-613-006[B], A-613-007[B], A-613-008[B], A-613-101[C], A-613-103[B], A-613-104[B], A-613-105[B], A-613-106[B], A-613-201[B], A-613-202[B], A-613-203[B], A-613-204[B], A-614-001[B], A-614-002[B], A-614-003[B], A-614-004[B], A-614-005[B], A-614-201[C], A-614-202[C], A-614-204[B], A-614-205[B], A-614-206[B], A-614-301[B], A-614-302[B], A-614-303[B], A-614-304[B], A-614-305[B], A-614-306[B] and A-614-307[B].

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**Attachments**

1. Fire safety schedule.
2. Conditions of approval
3. Application form for Construction Certificate.
4. Record of Site Inspection made by Registered Certifier in accordance with Clause 143B (EP&A Regulations 2000) prior to issue of Construction Certificate.
5. Design Verification Certificate for Architectural works prepared by Candalepas Associates dated 18 February 2022
6. Design Compliance Declaration prepared by Van Der Meer Consulting dated 15 February 2022
7. Design Certificate for Structural works prepared by Van Der Meer Consulting dated 15 February 2022

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**Development Consent**

Certificate no.:	SSD 8903	SSD 8903 MOD 1	SSD 8903 MOD 2
Date of Determination:	30 April 2020	11 November 2020	07 May 2021

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**Certificate / Registered Certifier**

McKenzie Group Consulting (NSW) Pty Ltd, certify that the work, if completed in accordance with these plans and specifications will comply with the Environmental Planning and Assessment Regulation 2000 as referred to in Section 6.8 of the Environmental Planning and Assessment Act 1979.

**Signature**

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Signed on behalf of the Company, McKenzie Group Consulting (NSW) Pty Ltd  
(ACN 093 211 995), Registered Body Corporate No. ABC 6  
Signed by: Paul Curjak  
Category of Accreditation: Building Surveyor – Unrestricted  
Registered Certifier No.: BDC 2773

Date of endorsement                   **10/03/2022**  
Certificate Number                   **J/74556/06**

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**Note:** Prior to commencement of work section 6.6 of the Environmental Planning and Assessment Act 1979 must be satisfied.

## **ATTACHMENT 1**

### **Existing Fire Safety Schedule**

Issued under the Environmental Planning and Assessment Regulation 2000 Clause 168

**No existing schedule**

### **Proposed Fire Safety Schedule**

Issued under the Environmental Planning and Assessment Regulation 2000 Clause 168

#### **N/A for this stage**

All services will require an inspection by a competent person for installation compliance to the relevant Australian Standard and the BCA and be certified accordingly.

## ATTACHMENT 2

### Conditions of Approval

(Pursuant to Clause 146B of the Environmental Planning and Assessment Regulation 2000)

The building work involving the installation, modification or extension of the relevant fire safety system cannot commence unless:

- a) plans have been submitted to the principal certifier that show:
  - i. in the case of building work involving the installation of the relevant fire safety system—the layout, extent and location of key components of the relevant fire safety system, or
  - ii. in the case of building work involving the modification or extension of the relevant fire safety system—the layout, extent and location of any new or modified components of the relevant fire safety system, and
- b) specifications have been submitted to the principal certifier that:
  - i. describe the basis for design, installation and construction of the relevant fire safety system, and
  - ii. identify the provisions of the Building Code of Australia upon which the design of the system is based, and
- c) those plans and specifications:
  - i. have been certified by a compliance certificate referred to in section 109C (1) (a) of the Act as complying with the relevant provisions of the Building Code of Australia, or
  - ii. unless they are subject to an exemption under clause 164B, have been endorsed by an accredited practitioner (fire safety) as complying with the relevant provisions of the Building Code of Australia, and
- d) if those plans and specifications were submitted before the complying development certificate was issued—each of them was endorsed by the registered certifier with a statement that the registered certifier is satisfied that it correctly identifies both the performance requirements and the deemed-to-satisfy provisions of the Building Code of Australia, and
- e) if those plans and specifications were not submitted before the complying development certificate was issued—each of them was endorsed by the principal certifier with a statement that the principal certifier is satisfied that it correctly identifies both the performance requirements and the deemed-to-satisfy provisions of the Building Code of Australia.

# Design Compliance Declaration— multiple regulated designs

## Instructions for completing this form

You must complete all Parts of this form.

This form is for multiple regulated designs, and the details must be given in Part 2 of this form in relation to each regulated design to which this form applies.

Where this form requires you to summarise information on which you intend to rely to support your answer, you must describe that information in sufficient detail for the Secretary to fully understand the basis of your answer.

Where this form indicates that material must be attached to the form, you must number each attachment sequentially and identify the number of that attachment in the relevant answer.

The drawing title, number and variation should correspond with the detail in the title block for the design to which this declaration relates.

## Part 1. Details

For registered body corporates, give full names of the registered individuals and the corporation on behalf of which the declaration is made.

Design Practitioner name	Body corporate name (if applicable)
Registration number of Design Practitioner signing	Registration number of body corporate (if applicable)
ABN/ACN	Phone
Email address	

Drawing title	Drawing number	Variation number



## Part 2. Declaration matters

I, \_\_\_\_\_, \_\_\_\_\_  
Name

\_\_\_\_\_, \_\_\_\_\_  
Title acting on behalf of Corporation Name (if relevant)

have prepared the attached regulated designs.

I declare:

1. Each regulated design for which this design compliance declaration is being made complies with the requirements of the *Building Code of Australia*.

Yes No

2. Each regulated design for which this design compliance declaration is being made integrates details of other aspects of building work to which the design relates, and other regulated designs for the work, in order to achieve compliance with the *Building Code of Australia*.

Yes No

If yes, provide details or attach information about the other regulated designs that have been integrated into the regulated design for which this design compliance declaration is being made.

3. Other standards, codes or requirements have been applied in preparing one or more of the regulated designs.

Yes No

If yes, provide details or attach information about the standards, codes or requirements that have been applied.

4. A building product referred to in each regulated design would, if used in a manner consistent with the design, achieve compliance with the *Building Code of Australia*.

Yes No

If yes, describe or attach information about how the building product would achieve compliance with the *Building Code of Australia*, including the relevant provisions of the *Building Code of Australia*.

5. I have sought and considered specialist advice in preparing each regulated design.

Yes                      No

If yes, provide the name and contact details of the person who provided you with the specialist advice.

6. The regulated designs involve a performance solution.

Yes                      No

If yes, provide details of the performance solution and the name and contact details of the person who prepared the performance solution report if this declaration is not for the report.

7. Each regulated design accords with the *Regulated Design Guidance Material* relevant to the design.

Yes                      No

### Part 3. Signature

Signature

Title

Date

This form relates to obligations under the *Design and Building Practitioners Act 2020* and supporting Regulation. For more information visit the NSW Fair Trading website:

[www.fairtrading.nsw.gov.au/housing-and-property/changes-to-class-2-buildings](http://www.fairtrading.nsw.gov.au/housing-and-property/changes-to-class-2-buildings)

## Attachment 1

### Schedule of Structural Drawings

Drawings Number	Drawing Name	Revision
S06-01	LOWER GROUND WEST - SLAB PLAN	1
S06-02	LOWER GROUND EAST - SLAB PLAN	1
S06-11	LOWER GROUND WEST - TIES REINFORCEMENT PLAN	2
S06-12	LOWER GROUND EAST - TIES REINFORCEMENT PLAN	1
S06-21	LOWER GROUND WEST - BOTTOM REINFORCEMENT PLAN	2
S06-22	LOWER GROUND EAST - BOTTOM REINFORCEMENT PLAN	1
S06-31	LOWER GROUND WEST - TOP REINFORCEMENT PLAN	2
S06-32	LOWER GROUND EAST - TOP REINFORCEMENT PLAN	1
S06-41	LOWER GROUND WEST - POST TENSIONING PLAN	2
S06-42	LOWER GROUND EAST - POST TENSIONING PLAN	1
S06-51	LOWER GROUND SECTIONS - SHEET 1	2
S06-52	LOWER GROUND SECTIONS - SHEET 2	2
S06-53	LOWER GROUND SECTIONS - SHEET 3	2
S06-54	LOWER GROUND SECTIONS - SHEET 4	2
S06-55	LOWER GROUND SECTIONS - SHEET 5	1
S06-56	LOWER GROUND SECTIONS - SHEET 6	1
S07-01	UPPER GROUND WEST - SLAB PLAN	1
S07-02	UPPER GROUND EAST - SLAB PLAN	1
S07-11	UPPER GROUND WEST - TIES REINFORCEMENT PLAN	2
S07-12	UPPER GROUND EAST - TIES REINFORCEMENT PLAN	1
S07-21	UPPER GROUND WEST - BOTTOM REINFORCEMENT PLAN	2
S07-22	UPPER GROUND WEEAST - BOTTOM REINFORCEMENT PLAN	1
S07-31	UPPER GROUND WEST - TOP REINFORCEMENT PLAN	2
S07-32	UPPER GROUND EAST - TOP REINFORCEMENT PLAN	1
S07-41	UPPER GROUND WEST - POST TENSIONING PLAN	2
S07-42	UPPER GROUND EAST - POST TENSIONING PLAN	1
S07-51	UPPER GROUND SECTIONS - SHEET 1	1

Our Ref: SY210-098  
Enquiries to: AA



15 February 2022

Probuild  
85 McLachlan Ave  
RUSHCUTTERS BAY, NSW 2011

**Attention: Mr Kris Nelson**

**RE: IVANHOE C1  
STRUCTURAL DESIGN CERTIFICATE- CC3D (MCK CC5)**

This is to confirm that our company has carried out structural design of the above project, as documented on the following drawings prepared by us:

- Refer to attached drawings

We certify that the structural design, as documented on the above-mentioned drawings, is in accordance with accepted engineering practice and is in accordance with the relevant provisions of the following:

- The Building Code of Australia (Volume One) 2019- Amendment one.
- Relevant Australian Standards:
  - AS1170.0-2002
  - AS1170.1-2002
  - AS1170.2-2011
  - AS1170.4-2007
  - AS3600-2018

The structural design is carried out based on the Geotechnical Report No. 86043.01.R.001.Rev1.Greater prepared by Douglas Partners Pty Ltd dated 30 July 2018.

I am a Professional Engineer with appropriate experience and competence in this field.

Yours faithfully  
**van der Meer Consulting**

A handwritten signature in black ink, appearing to read 'Ashkan Afnani Esfandabadi'.

**Ashkan Afnani Esfandabadi**  
Associate- Structural  
BSc. MSc. PhD, CPEng, NER  
NER Registration No. 4199838  
Design Practitioner Registration No. DEP0001118

Encl: Relevant Structural Drawings



Regulated Design record				
Project Address: HERRING ROAD, MACQUARIE PARK				
Project Title: BUILDING C1, MIDTOWN ESTATE				
Consent No: SSD 8903		Body Corporate No: -		
Drawing Title: LOWER GROUND - WEST SLAB PLAN		Drawing Number: S06-01		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No
RD1	21.10.21	FOR CONSTRUCTION	ASHKAN AFNANI ESFANDABADI	DEP0001118

**NOTES:**  
1. REFER ORG. No. S01-01 AND S01-02 FOR STRUCTURAL NOTES  
2. REFER ORG. No. S01-51 AND S01-52 FOR TYPICAL DETAILS  
3. FOR ALL SET OUT DIMENSIONS, LEVELS, SET DOWNS, HOBS, KERBS AND FALLS, REFER TO ARCHITECTS DRAWINGS.

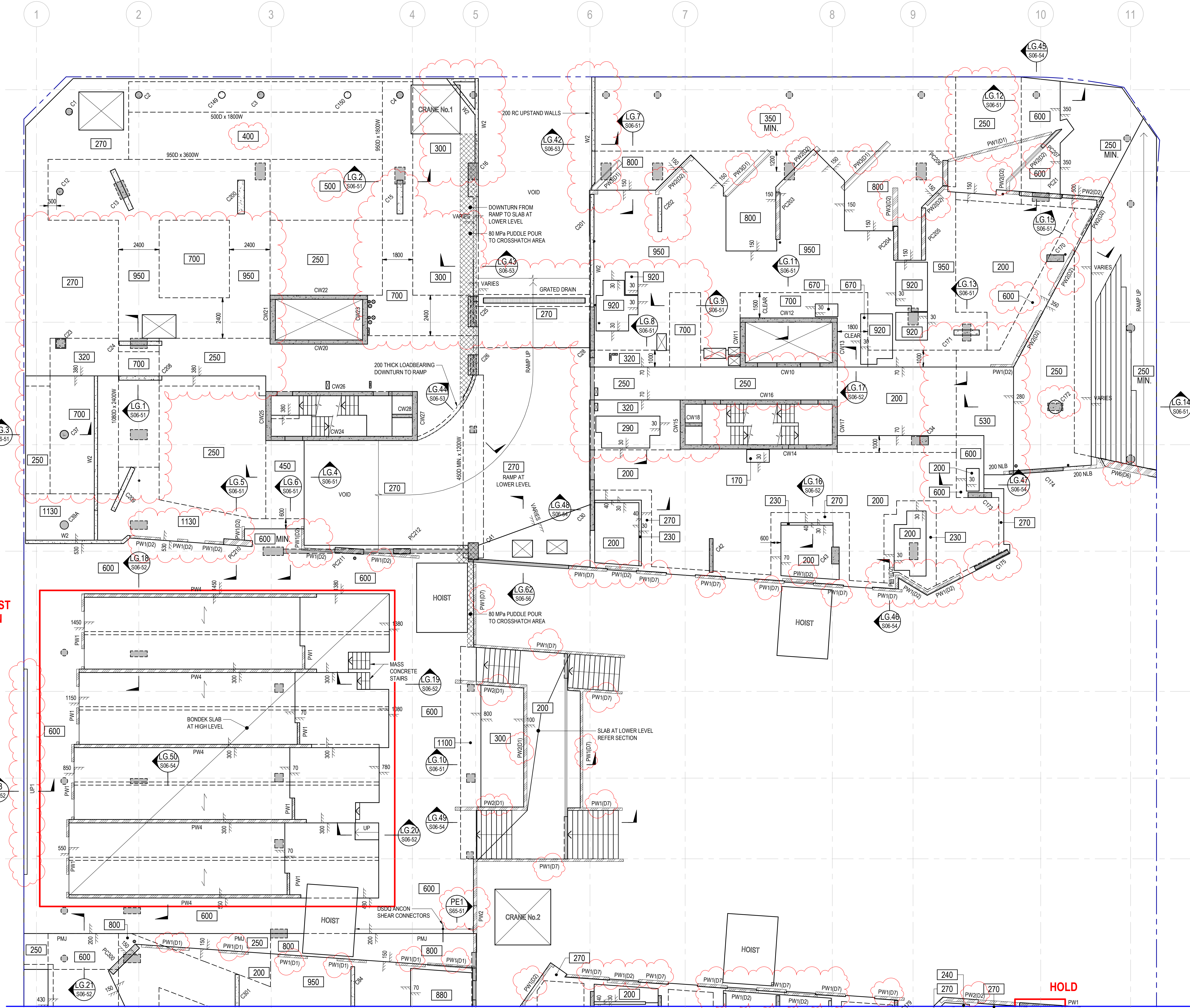
**WALL PLAN LEGEND**

XXXXXXXXXXXX DENOTES RITEK WALL OVER  
----- DENOTES RC WALL OR COLUMN OVER  
===== DENOTES PRECAST OR TILT-UP PANEL OVER  
===== DENOTES LOADEARING WALL UNDER. REFER TO PLAN OF LEVEL BELOW FOR WALL TYPE  
===== DENOTES RC WALL OR COLUMN UNDER AND OVER

**LEGEND:**

C. DENOTES RC CONCRETE COLUMN  
W. DENOTES REINFORCED CONCRETE WALL TYPE.  
BW. DENOTES BLOCKWALL TYPE.  
PW.(D.) DENOTES PRECAST WALL TYPE.  
(D.) DENOTES DOWEL INTO THIS SLAB DETAIL. REFER SEE SERIES DRAWINGS FOR DETAILS  
TW. DENOTES TRANSFER WALL TYPE. REFER S60 SERIES DRAWINGS FOR DETAILS  
200 DENOTES SLAB THICKNESS  
210 \* DENOTES SLAB THICKNESS WHERE SLAB HAS BEEN INCREASED BY 50mm AT THE REQUEST OF BUILDER. TOP OF SLAB SLOPE TO MAXIMUM 50mm LOWER AT DRAINAGE OUTLETS  
STEP DENOTES SLAB STEP  
DENOTES SUMP  
DENOTES SPAN DIRECTION OF 0.75 BMT BONDEK  
SJ DENOTES SAWN JOINT. REFER ORG. No. S03-51 FOR TYPICAL DETAILS.  
KJ DENOTES KEYED DOVILLED JOINT. REFER ORG. No. S03-51 FOR TYPICAL DETAILS.  
CJ DENOTES CONSTRUCTION JOINT. REFER ORG. No. S04-51 FOR TYPICAL DETAILS.  
PMJ DENOTES PERMANENT MOVEMENT JOINT. REFER ORG. No. S04-51 FOR TYPICAL DETAILS.  
TMJ DENOTES TEMPORARY MOVEMENT JOINT. REFER ORG. No. S04-51 FOR TYPICAL DETAILS.  
DENOTES EXTENT OF BONDEK SLABS  
1 DENOTES POUR SEQUENCE NUMBER

RAISED SLAB AND PRECAST  
PENDING CONFIRMATION





Regulated Design record				
Project Address: HERRING ROAD, MACQUARIE PARK				
Project Title: BUILDING C1, MIDTOWN ESTATE				
Consent No: SSD 8903		Body Corporate No: -		
Drawing Title: LOWER GROUND - EAST SLAB PLAN		Drawing Number: S06-02		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No
RD1	15.02.22	FOR CONSTRUCTION	ASHKAN AFNANI ESFANDABADI	DEP0001118

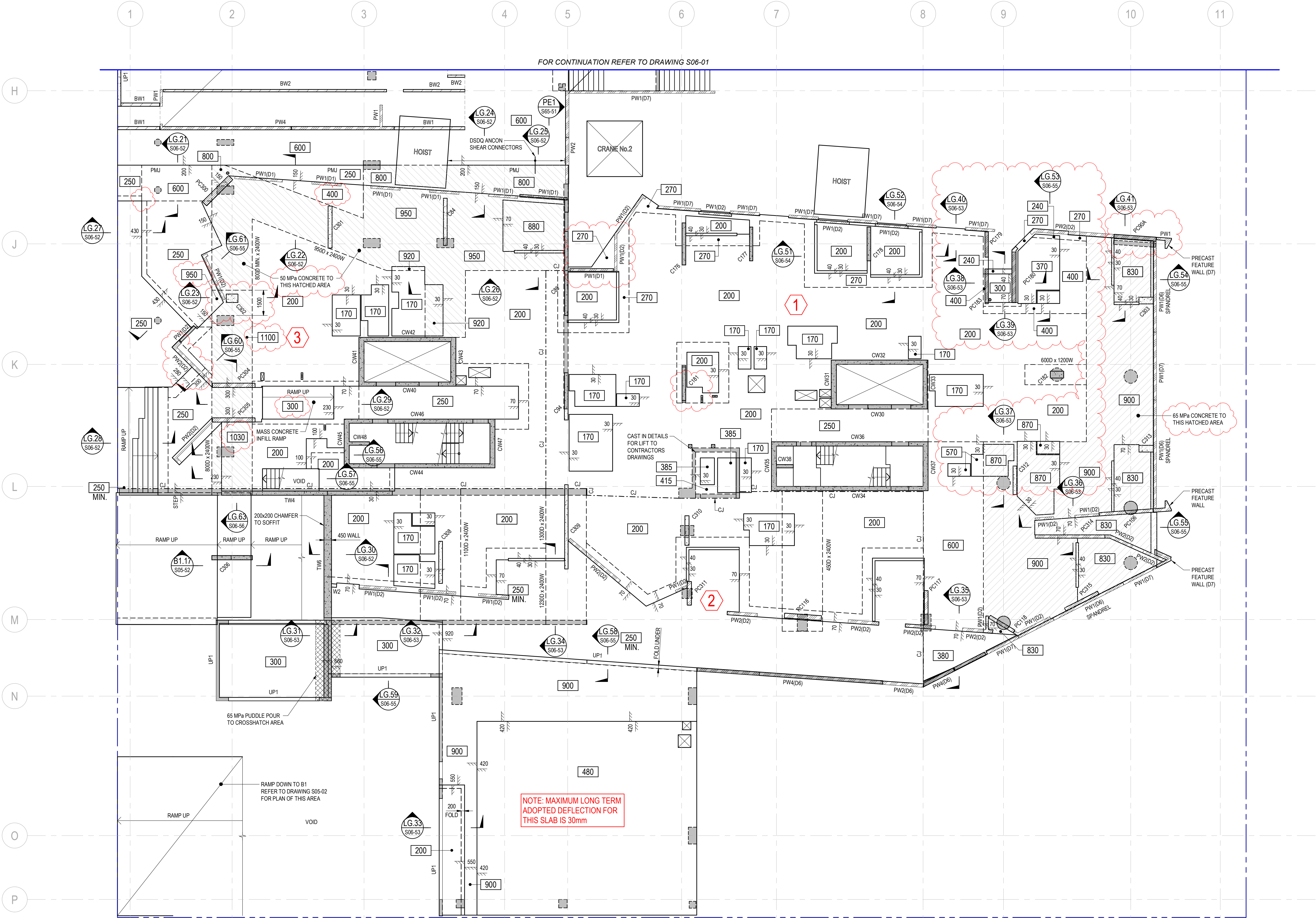
- NOTES:**
1. REFER DRG. No. S01-01 AND S01-02 FOR STRUCTURAL NOTES
  2. REFER DRG. No. S01-51 AND S01-52 FOR TYPICAL DETAILS
  3. FOR ALL SET OUT DIMENSIONS, LEVELS, SET DOWNS, HOBS, KERBS AND FALLS, REFER TO ARCHITECTS DRAWINGS.

**WALL PLAN LEGEND**

- XXXXXXXXXXXX DENOTES RITEK WALL OVER
- XXXXXXXXXXXX DENOTES RC WALL OR COLUMN OVER
- XXXXXXXXXXXX DENOTES PRECAST OR TILT-UP PANEL OVER
- XXXXXXXXXXXX DENOTES LOADBEARING WALL UNDER. REFER TO PLAN OF LEVEL BELOW FOR WALL TYPE
- XXXXXXXXXXXX DENOTES RC WALL OR COLUMN UNDER AND OVER

**LEGEND:**

- C\_ DENOTES RC CONCRETE COLUMN
- PC\_ DENOTES PRECAST CONCRETE COLUMN
- W\_ DENOTES REINFORCED CONCRETE WALL TYPE
- CW\_ DENOTES REINFORCED CORE WALL TYPE. REFER S60 SERIES FOR ELEVATIONS AND DETAILS
- BW\_ DENOTES BLOCKWALL TYPE
- PW\_(D\_) PW\_ DENOTES PRECAST WALL TYPE  
(D\_) DENOTES DOWEL INTO THIS SLAB DETAIL. REFER S65 SERIES DRAWINGS FOR DETAILS
- TW\_ DENOTES TRANSFER WALL TYPE. REFER S60 SERIES DRAWINGS FOR DETAILS
- NLB DENOTES NON-LOAD BEARING WALL TYPE
- 200 DENOTES SLAB THICKNESS
- 210 \* DENOTES SLAB THICKNESS WHERE SLAB HAS BEEN INCREASED BY 50mm AT THE REQUEST OF BUILDER. TOP OF SLAB SLOPE TO MAXIMUM 50mm LOWER AT DRAINAGE OUTLETS
- STEP DENOTES SLAB STEP
- SUMP DENOTES SUMP
- SPAN DENOTES SPAN DIRECTION OF 0.75 BMT BONDEK
- SJ DENOTES SAWN JOINT. REFER DRG. No. S03-51 FOR TYPICAL DETAILS.
- KDJ DENOTES KEVED DOWELLED JOINT. REFER DRG. No. S03-51 FOR TYPICAL DETAILS.
- CJ DENOTES CONSTRUCTION JOINT. REFER DRG. No. S01-51 FOR TYPICAL DETAILS.
- PMJ DENOTES PERMANENT MOVEMENT JOINT. REFER DRG. No. S01-51 FOR TYPICAL DETAILS.
- TMJ DENOTES TEMPORARY MOVEMENT JOINT. REFER DRG. No. S01-51 FOR TYPICAL DETAILS.
- XXXXXXXXXXXX DENOTES EXTENT OF BONDEK SLABS
- 1 DENOTES POUR SEQUENCE NUMBER



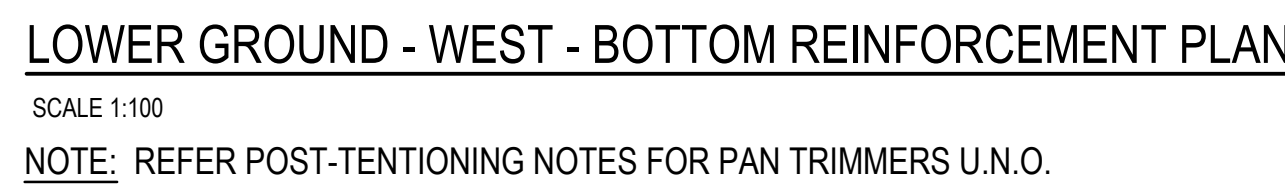




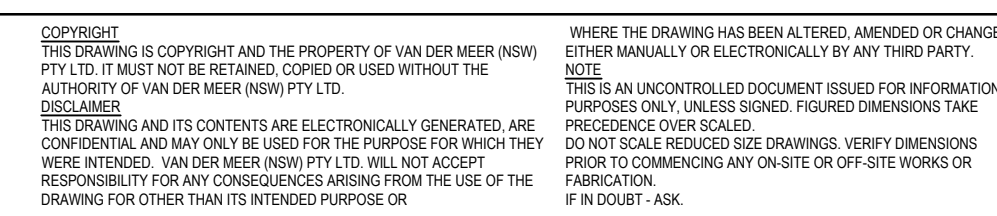




BAR LAYING SEQUENCE (TYPICAL)



REVISIONS			
2	ISSUED FOR CONSTRUCTION	M.N.	15-03-2022
1	ISSUED FOR CONSTRUCTION	M.N.	24-01-2022
06	REVISION DESCRIPTION	DRAWN	DATE



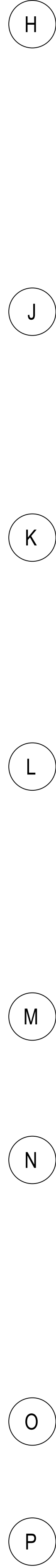
ARCHITECT **CANDELEPAS ASSOCIATES**  
309 SUSSEX STREET, SYDNEY, NSW, 2000  
T: 02 9283 7755 F: 02 9283 7477

DRAWING TITLE  
LOWER GROUND - WEST  
BOTTOM REINFORCEMENT PLAN

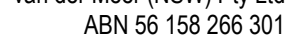
PROJECT LEADER A.A.	DESIGNER N.N.	SIGNATURE	
DRAFTSPERSON M.N.	SCALE 1:100	DATE FEBRUARY 2022	SHEET SIZE A0
JOB No SY210-098		DRAWING No. S06-21	REVISION 2



BAR LAYING SEQUENCE (TYPICAL)



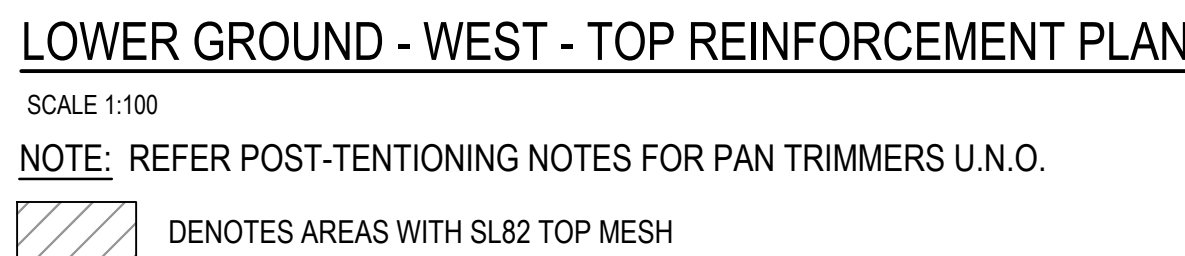
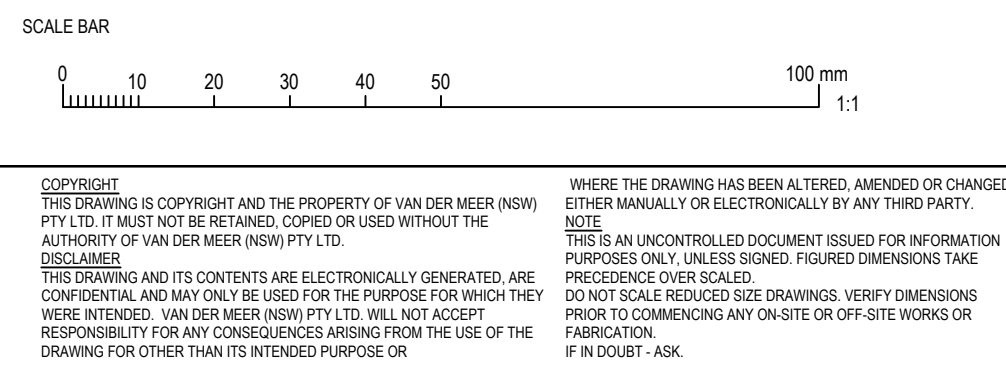
M.N.	15-02-2022
DRAWN	DATE



PROJECT LEADER A.A.	DESIGNER N.N.	SIGNATURE	
DRAFTSPERSON M.N.	SCALE 1:100	DATE FEBRUARY 2022	SHEET SIZE A0
JOB No. SY210-098		DRAWING No. S06-22	REVISION 1



BAR LAYING SEQUENCE (TYPICAL)

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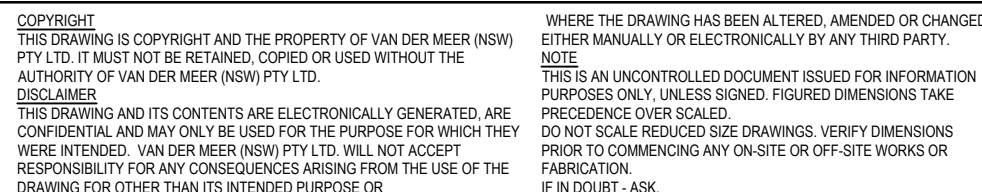
PROJECT TITLE  
**BUILDING C1, MIDTOWN ESTATE**  
HERRING ROAD, MACQUARIE PARK

DRAWING TITLE  
**LOWER GROUND - WEST**  
**TOP REINFORCEMENT PLAN**

DRAWING STATUS			
<b>ISSUED FOR CONSTRUCTION</b>			
PROJECT LEADER D.A.T.	DESIGNER N.N.	SIGNATURE	
DRAWINGPERSON M.N.	SCALE 1:100	DATE FEBRUARY 2022	SHEET SIZE A0
JOB NO. SY210-098		DRAWING No. S06-31	REVISION 2



BAR LAYING SEQUENCE (TYPICAL)

 DENOTES AREAS WITH SL82 TOP MESH[illegible]

DRAWING TITLE  
LOWER GROUND - EAST  
TOP REINFORCEMENT PLAN

PROJECT LEADER A A	DESIGNER N N	SIGNATURE
-----------------------	-----------------	-----------

PROJECT LEADER A.A.	DESIGNER N.N.	SIGNATURE	
DRAFTSPERSON M.N.	SCALE 1:100	DATE FEBRUARY 2022	SHEET SIZE A0
JOB No. SY210-098		DRAWING No. S06-32	REVISION 1



[illegible][illegible]

ARCHITECT **CANDALEPAS ASSOCIATES**  
309 SUSSEX STREET, SYDNEY, NSW, 2000  
T: 02 9283 7755 F: 02 9283 7477

DRAWING TITLE

LOWER GROUND - WEST  
POST TENSIONING PLAN

DRAWING STATUS			
<b>ISSUED FOR CONSTRUCTION</b>			
PROJECT LEADER A.A.	DESIGNER N.N.	SIGNATURE	
DRAFTSPERSON M.N.	SCALE 1:100	DATE FEBRUARY 2022	SHEET SIZE A0
JOB No. SY210-098	DRAWING No. S06-41		REVISION 2




M.N.	15-02-2022
DRAWN	DATE



● DENOTES 15.2MM STRAND

**SCALE BAR**



100 mm  
1:1

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ARCHITECT **CANDALEPAS ASSOCIATES**  
309 SUSSEX STREET, SYDNEY, NSW, 2000  
T: 02 9283 7755 F: 02 9283 7477

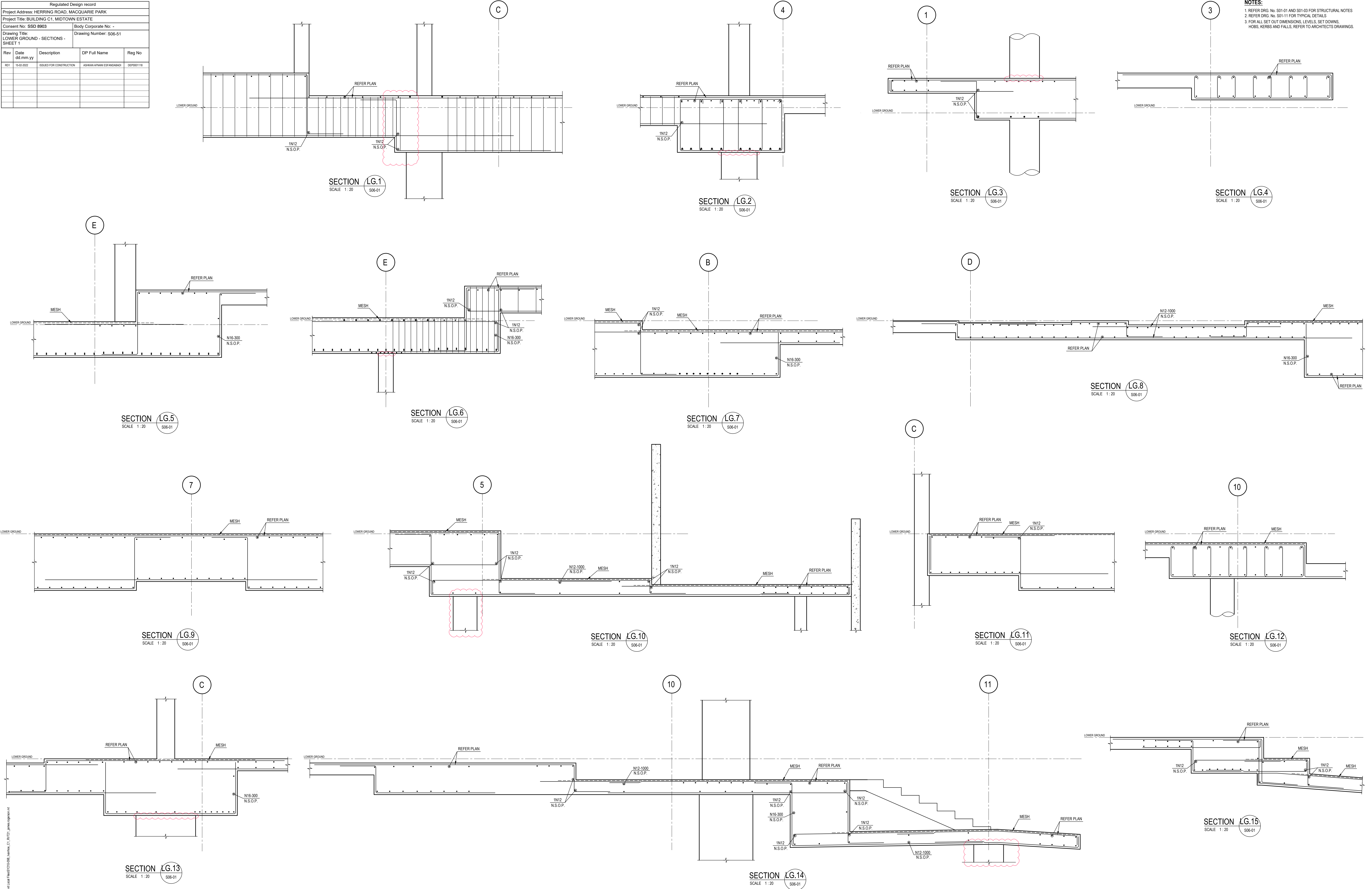
DRAWING TITLE  
LOWER GROUND - EAST  
POST TENSIONING PLAN

**NOTES:**

1. REFER DRG. No. S01-01 AND S01-03 FOR STRUCTURAL NOTES
2. REFER DRG. No. S01-11 FOR TYPICAL DETAILS
3. FOR ALL SET OUT DIMENSIONS, LEVELS, SET DOWNS, HOBS, KERBS AND FALLS, REFER TO ARCHITECTS DRAWINGS

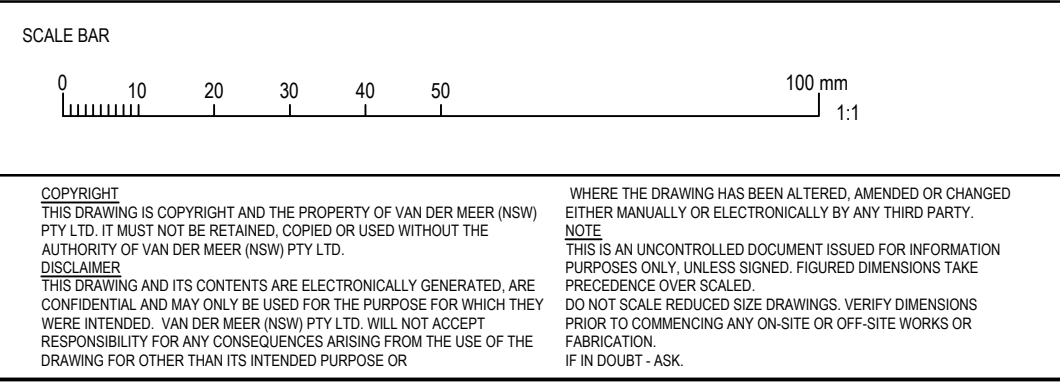


Regulated Design record				
Project Address: HERRING ROAD, MACQUARIE PARK				
Project Title: BUILDING C1, MIDTOWN ESTATE				
Consent No: SSD 8903		Body Corporate No: -		
Drawing Title: LOWER GROUND - SECTIONS - SHEET 1		Drawing Number: S06-51		
Rev	Date	Description	DP Full Name	Reg No
001	15-02-2022	ISSUED FOR CONSTRUCTION	ADRIAN AFANAN (SPANDABADI)	DEP001111



NOTES:  
1. REFER DRG. No. S01-01 AND S01-03 FOR STRUCTURAL NOTES  
2. REFER DRG. No. S01-11 FOR TYPICAL DETAILS  
3. FOR ALL SET OUT DIMENSIONS, LEVELS, SET DOWNS, HOBS, KERBS AND FALLS, REFER TO ARCHITECTS DRAWINGS.

REVISIONS		REVISION DESCRIPTION	
2	ISSUED FOR CONSTRUCTION	M.N.	15-02-2022
1	ISSUED FOR CONSTRUCTION	M.N.	10-02-2022
0	ISSUED FOR CONSTRUCTION	M.N.	10-02-2022



CLIENT	PROBUILD 85 MACLAGHAN AVENUE, RUSHCUTTERS BAY, NSW, 2011
ARCHITECT	CANDELPAS ASSOCIATES 309 SUSSEX STREET, SYDNEY, NSW, 2000 T: 02 9283 7755 F: 02 9283 7477

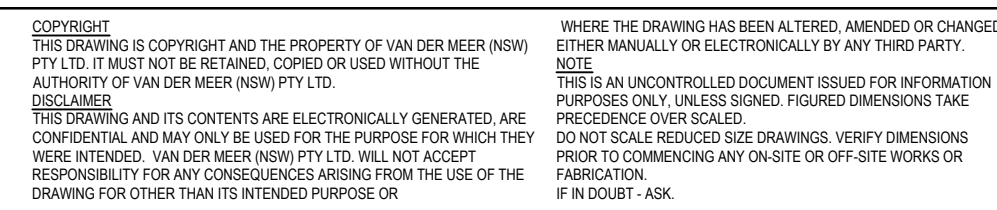
PROJECT TITLE	BUILDING C1, MIDTOWN ESTATE HERRING ROAD, MACQUARIE PARK
DRAWING TITLE	LOWER GROUND - SECTIONS - SHEET 1

ISSUED FOR CONSTRUCTION			
PROJECT LEADER	DESIGNER	SIGNATURE	
A.A.	N.N.		
DRAFTSPERSON	SCALE	DATE	SHEET SIZE
M.N.	1:20	FEBRUARY 2022	A0
DRW No	REV	DATE	REV
SY210-098	S06-51		2

									R		Z:\VDM\1. Design + Drafting\202\1068_S1210-096_JailRoad Macquarie Park.NG - Working.dwg: LOWER GROUND'3, SECTION DWS-C-16W 2S1210-096_ S06-SZ_2.DWG
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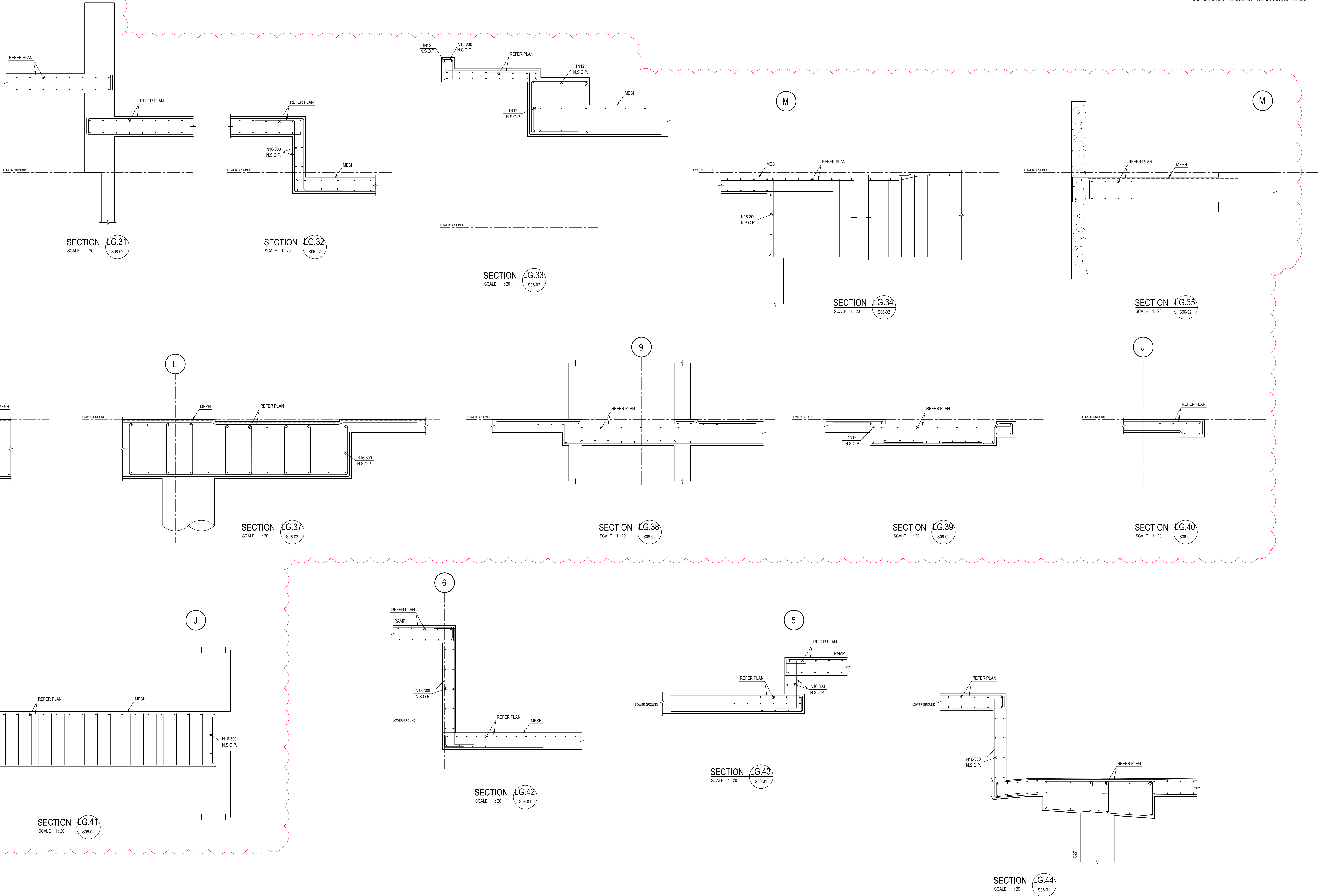
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Regulated Design record				
Project Address: HERRING ROAD, MACQUARIE PARK				
Project Title: BUILDING C1, MIDTOWN ESTATE				
Consent No: SSD 8903		Body Corporate No: -		
Drawing Title: LOWER GROUND - SECTIONS - SHEET 3		Drawing Number: S06-53		
Rev	Date	Description	DP Full Name	Reg No
001	10-02-2022	ISSUED FOR CONSTRUCTION	ADRIAN AFANADOR	DEP0001116

NOTES:  
1. REFER DRG. No. S01-01 AND S01-03 FOR STRUCTURAL NOTES  
2. REFER DRG. No. S01-11 FOR TYPICAL DETAILS  
3. FOR ALL SET OUT DIMENSIONS, LEVELS, SET DOWNS, HOBS, KERBS AND FALLS, REFER TO ARCHITECTS DRAWINGS.



REVISIONS			
No.	REVISION DESCRIPTION	DATE	BY
2	ISSUED FOR CONSTRUCTION	10-02-2022	M.N.
1	ISSUED FOR CONSTRUCTION	10-02-2022	M.N.

SCALE BAR	
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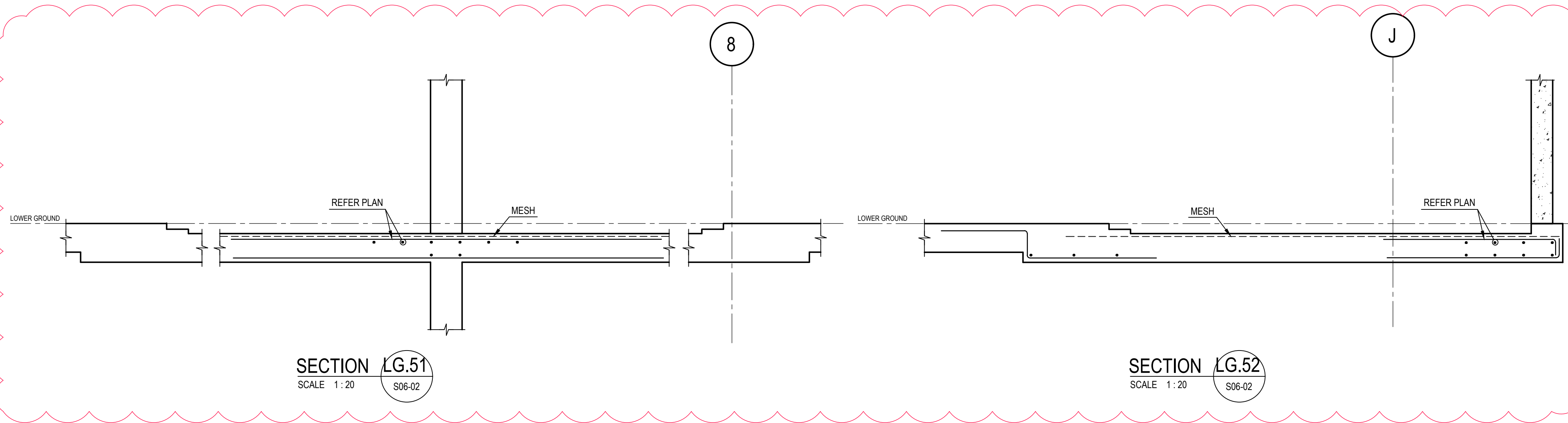
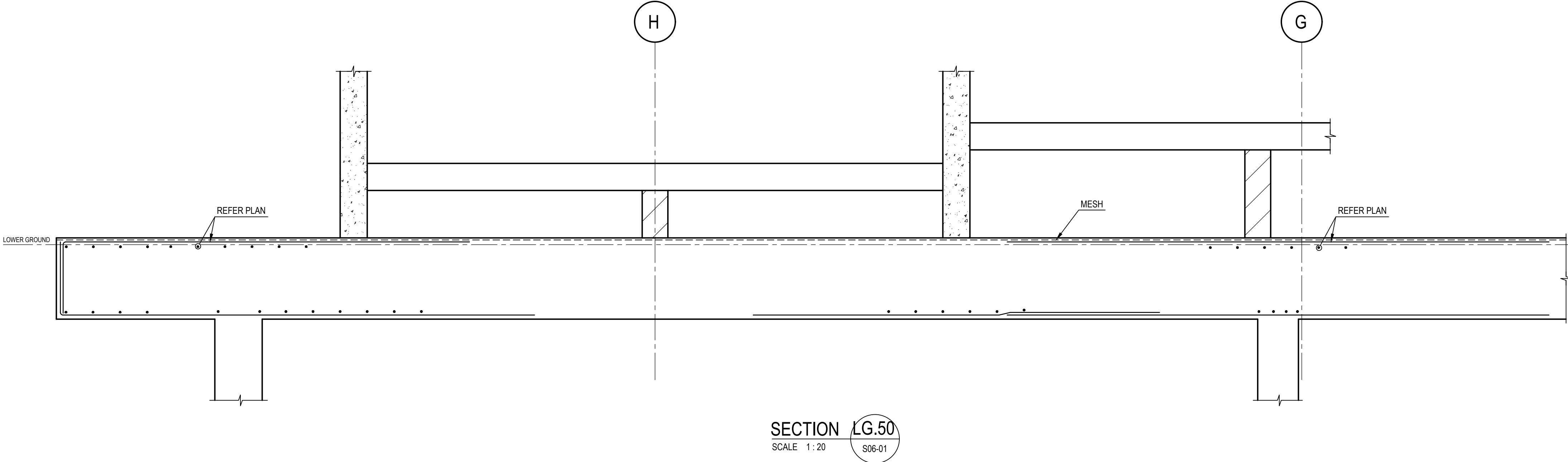
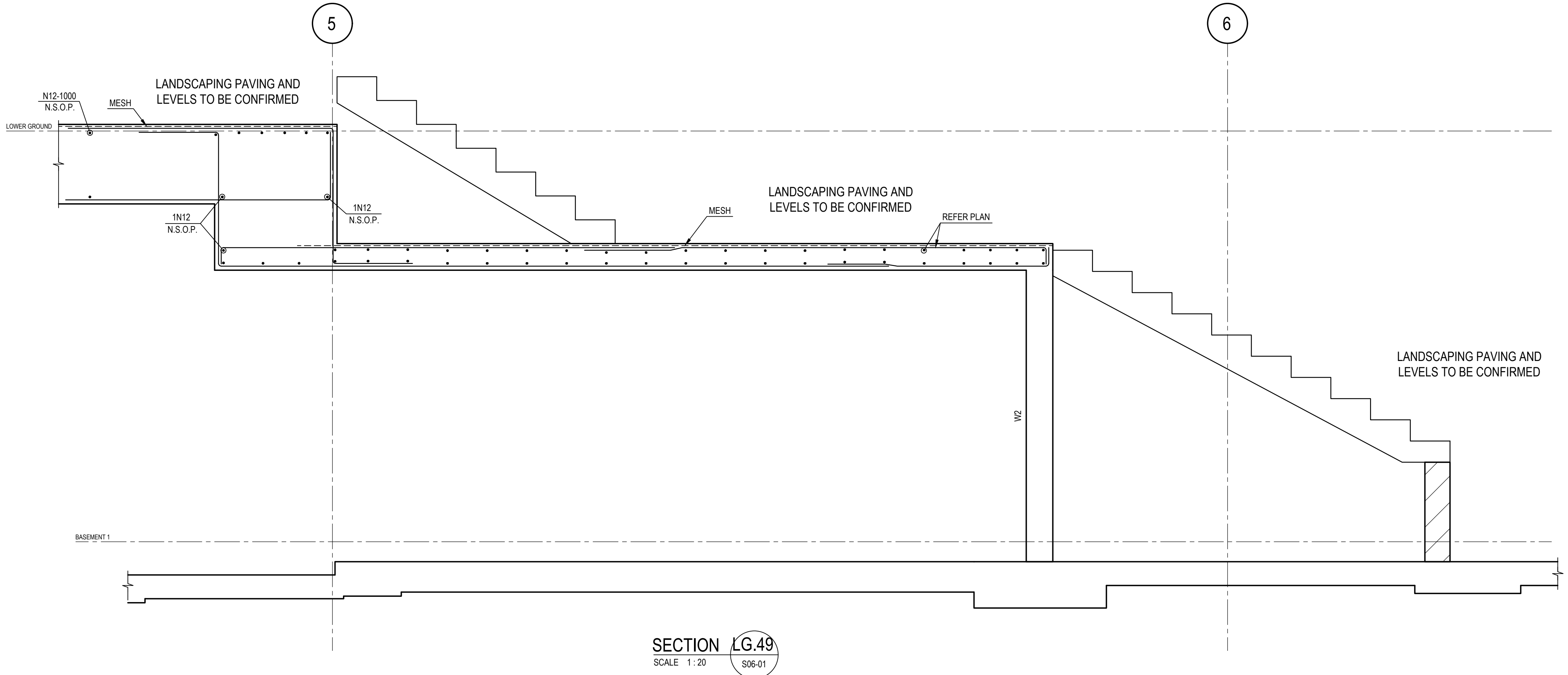
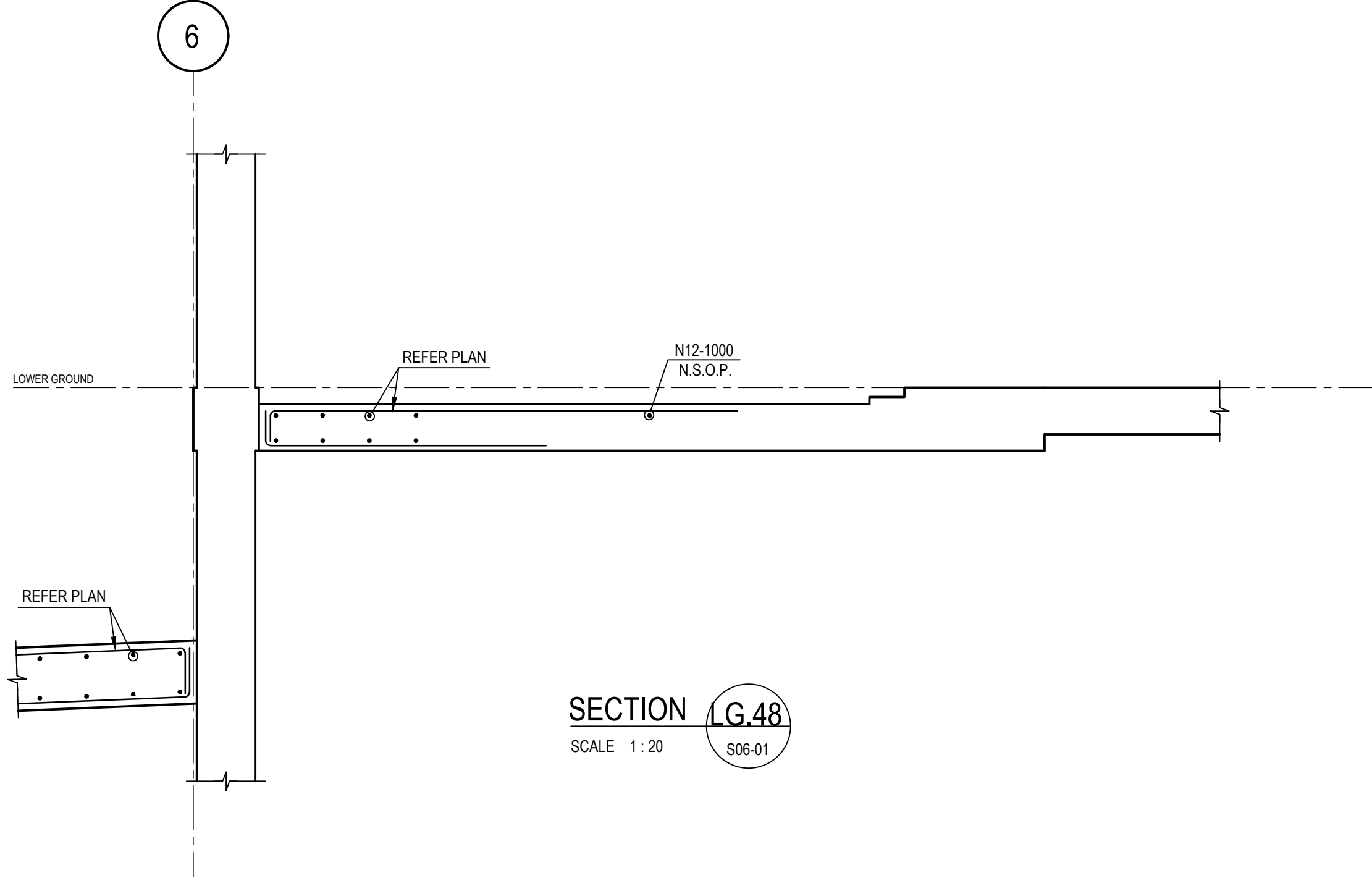
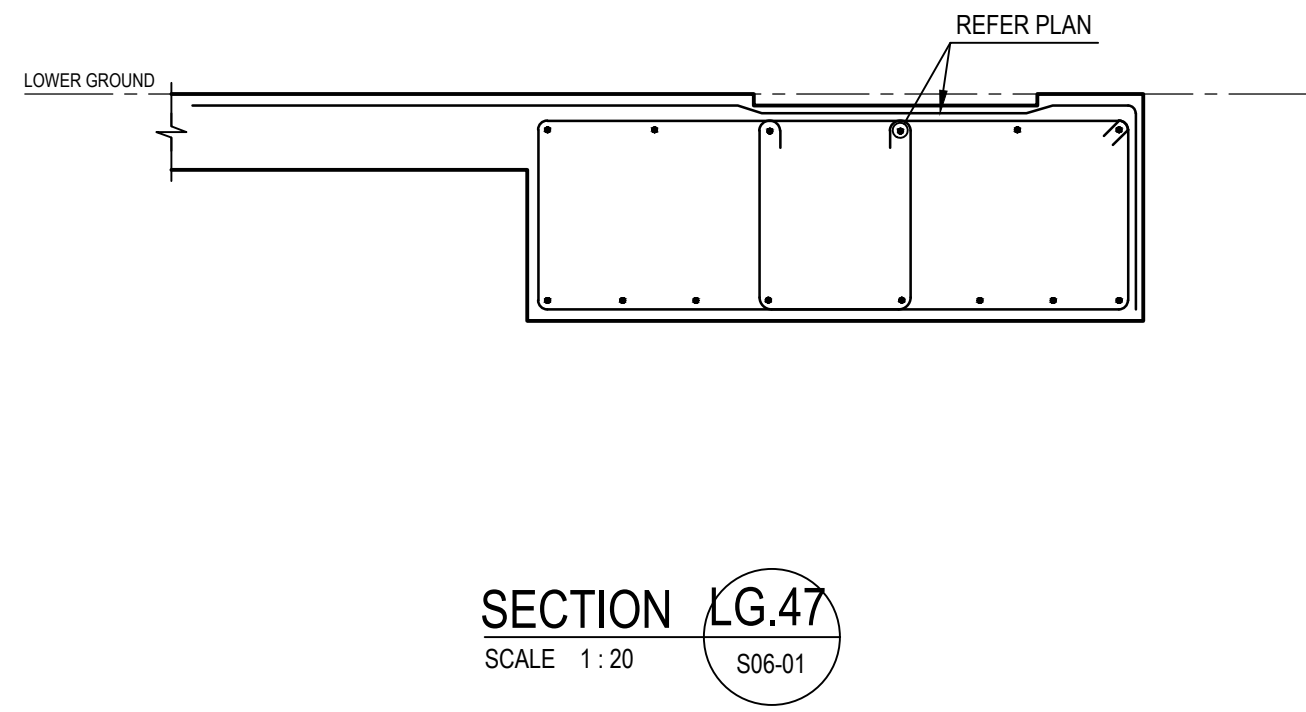
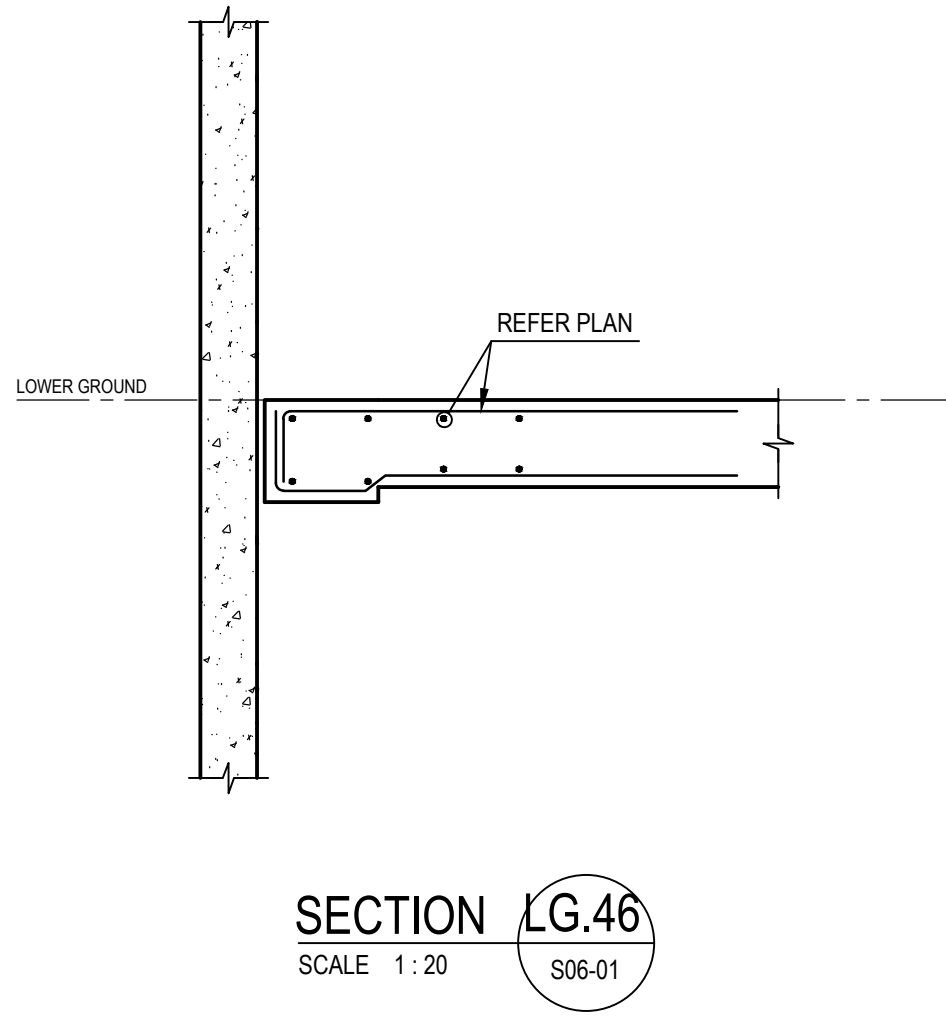
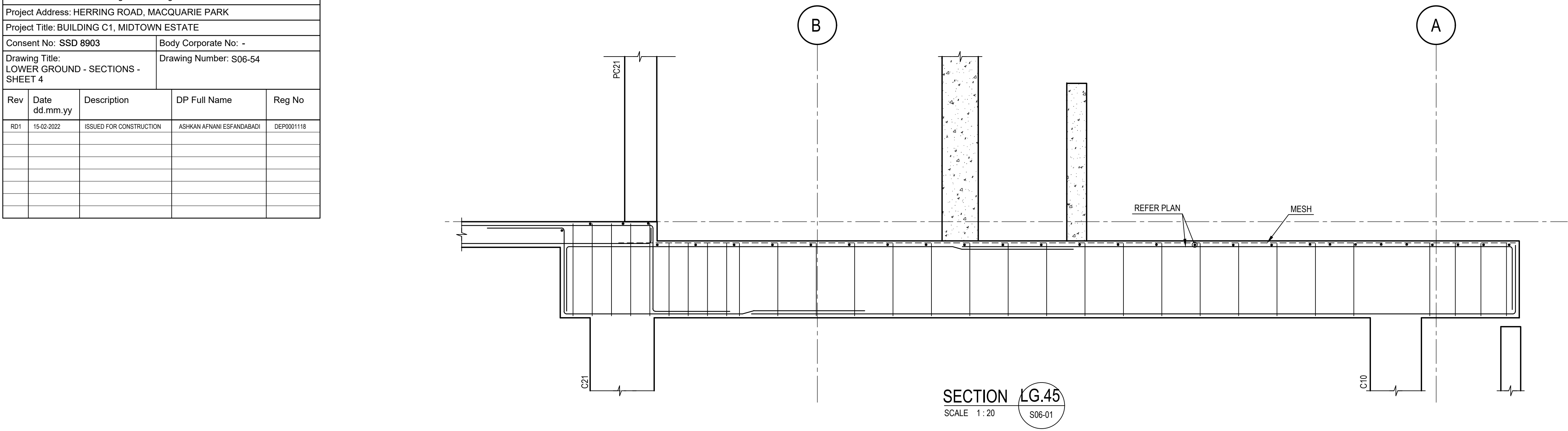
CLIENT	
PROBUILD 85 MACLAGHAN AVENUE, RUSHCUTTERS BAY, NSW, 2011	
ARCHITECT	
CANDALEPAS ASSOCIATES 309 SUSSEX STREET, SYDNEY, NSW, 2000 T: 02 9283 7755 F: 02 9283 7477	

PROJECT TITLE	
BUILDING C1, MIDTOWN ESTATE HERRING ROAD, MACQUARIE PARK	
DRAWING TITLE	
LOWER GROUND - SECTIONS - SHEET 3	

DRAWING STATUS			
ISSUED FOR CONSTRUCTION			
PROJECT LEADER	DESIGNER	SIGNATURE	
A.A.	N.N.		
DRAFTSPERSON	SCALE	DATE	SHEET SIZE
M.N.	1:20	FEBRUARY 2022	A0
SY210-098		S06-53	2

Regulated Design record				
Project Address: HERRING ROAD, MACQUARIE PARK				
Project Title: BUILDING C1, MIDTOWN ESTATE				
Consent No: SSD 8903		Body Corporate No: -		
Drawing Title: LOWER GROUND - SECTIONS - SHEET 4		Drawing Number: S06-54		
Rev	Date	Description	DP Full Name	Reg No
001	10-02-2022	ISSUED FOR CONSTRUCTION	ADRIAN AFANAH (SFANDABADI)	DEP0011116

NOTES:  
1. REFER DRG. No. S01-01 AND S01-03 FOR STRUCTURAL NOTES  
2. REFER DRG. No. S01-11 FOR TYPICAL DETAILS  
3. FOR ALL SET OUT DIMENSIONS, LEVELS, SET DOWNS, HOBS, KERBS AND FALLS, REFER TO ARCHITECTS DRAWINGS.



REVISIONS			
No.	REVISION DESCRIPTION	DATE	
2	ISSUED FOR CONSTRUCTION	10-02-2022	
1	ISSUED FOR CONSTRUCTION	10-02-2022	

SCALE BAR	
0 10 20 30 40 50 100 mm	1:1
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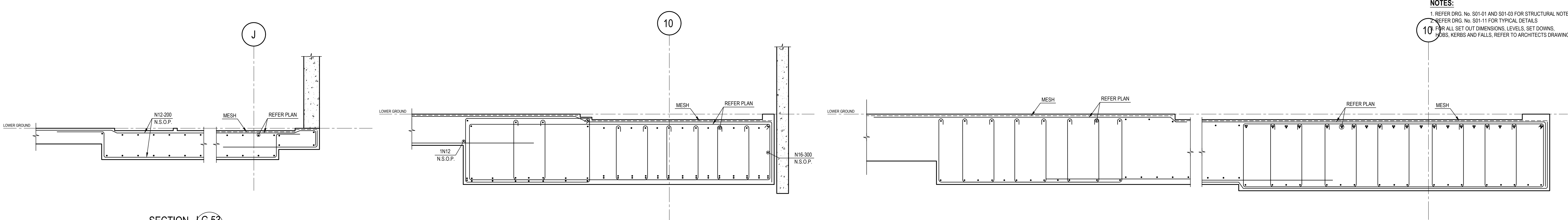


CLIENT	
PROBUILD 85 MACLAGHAN AVENUE, RUSHCUTTERS BAY, NSW, 2011	
ARCHITECT	
CANDALEPAS ASSOCIATES 309 SUSSEX STREET, SYDNEY, NSW, 2000 T: 02 9283 7755 F: 02 9283 7477	

PROJECT TITLE	
BUILDING C1, MIDTOWN ESTATE HERRING ROAD, MACQUARIE PARK	
DRAWING TITLE	
LOWER GROUND - SECTIONS - SHEET 4	

DRAWING STATUS			
ISSUED FOR CONSTRUCTION			
PROJECT LEADER	DESIGNER	SIGNATURE	
A.A.	N.N.		
DRAFTSPERSON	SCALE	DATE	SHEET SIZE
M.N.	1:20	FEBRUARY 2022	A0
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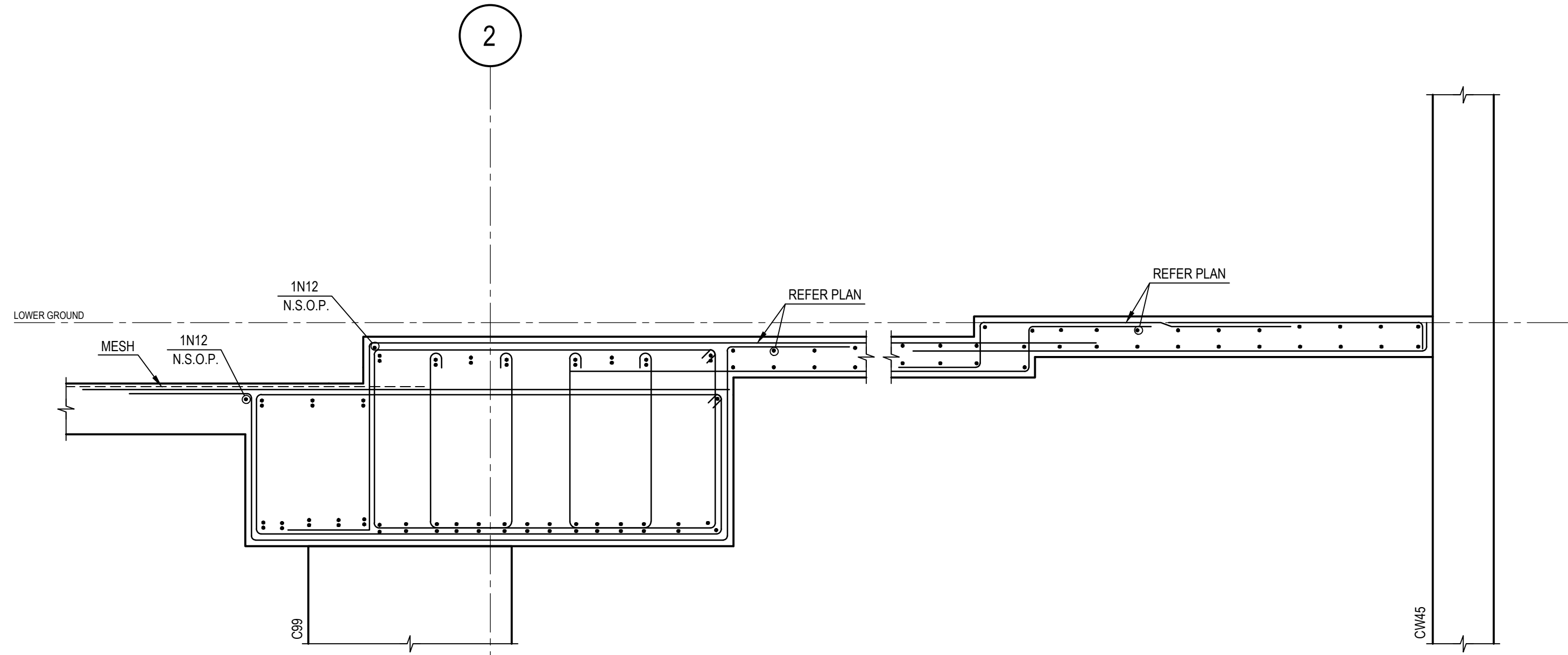
Regulated Design record				
Project Address: HERRING ROAD, MACQUARIE PARK				
Project Title: BUILDING C1, MIDTOWN ESTATE				
Consent No: SSD 8903		Body Corporate No: -		
Drawing Title: LOWER GROUND - SECTIONS - SHEET 5		Drawing Number: S06-55		
Rev	Date	Description	DP Full Name	Reg No
R01	15-02-2022	ISSUED FOR CONSTRUCTION	ASHKAN AFRAH ESTADANADI	DEP0001116



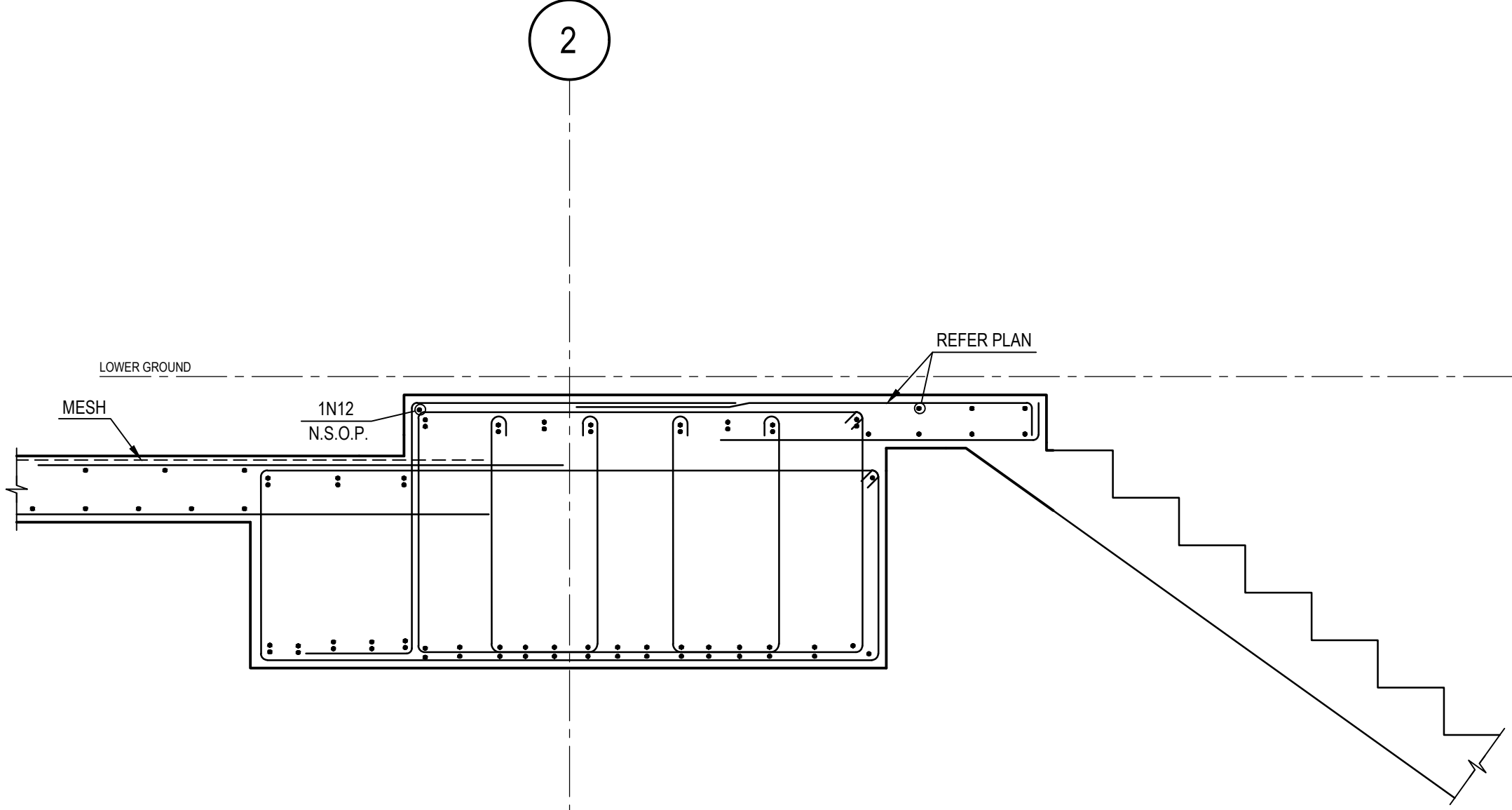
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SCALE 1:20  
S06-02

SECTION LG.54  
SCALE 1:20  
S06-02

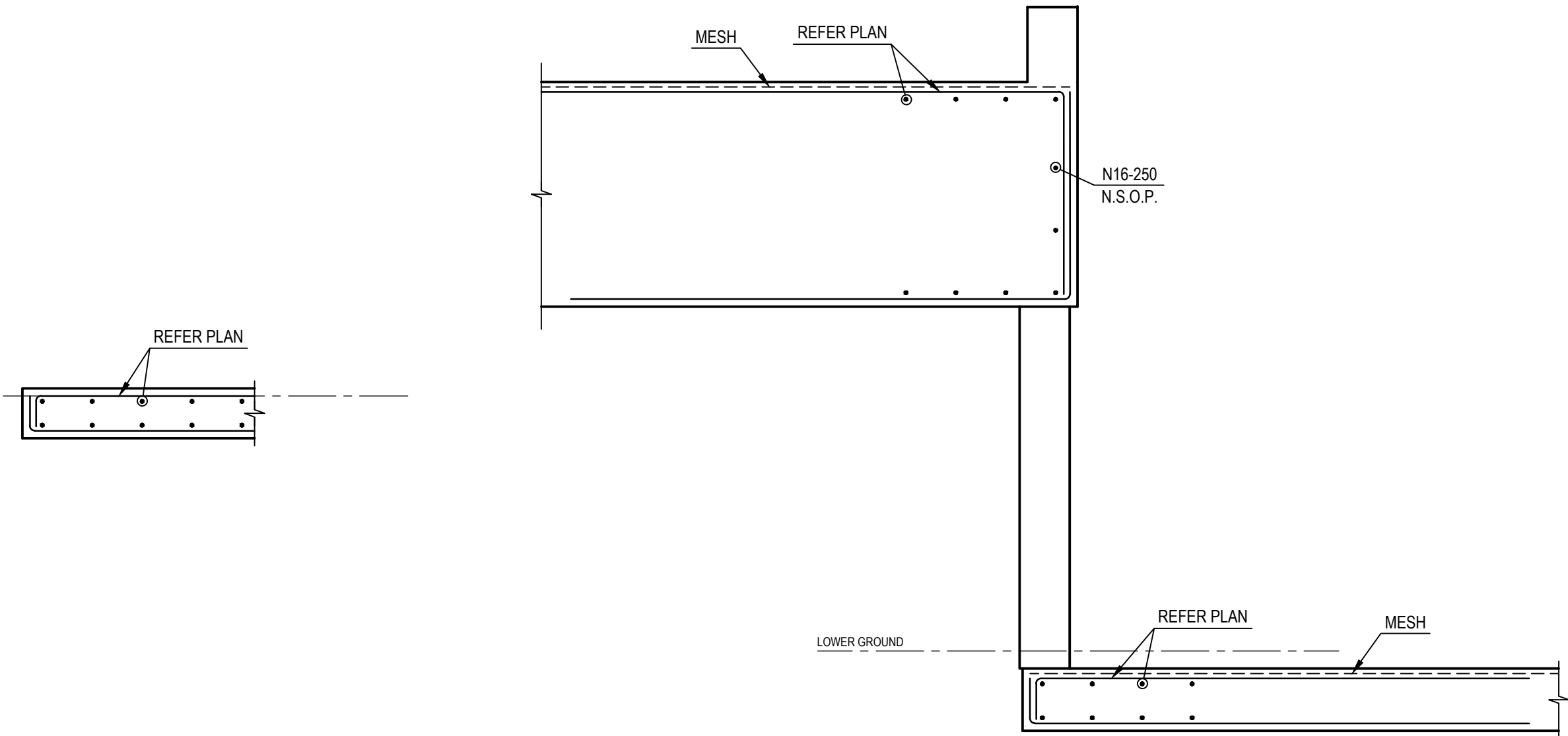
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SCALE 1:20  
S06-02



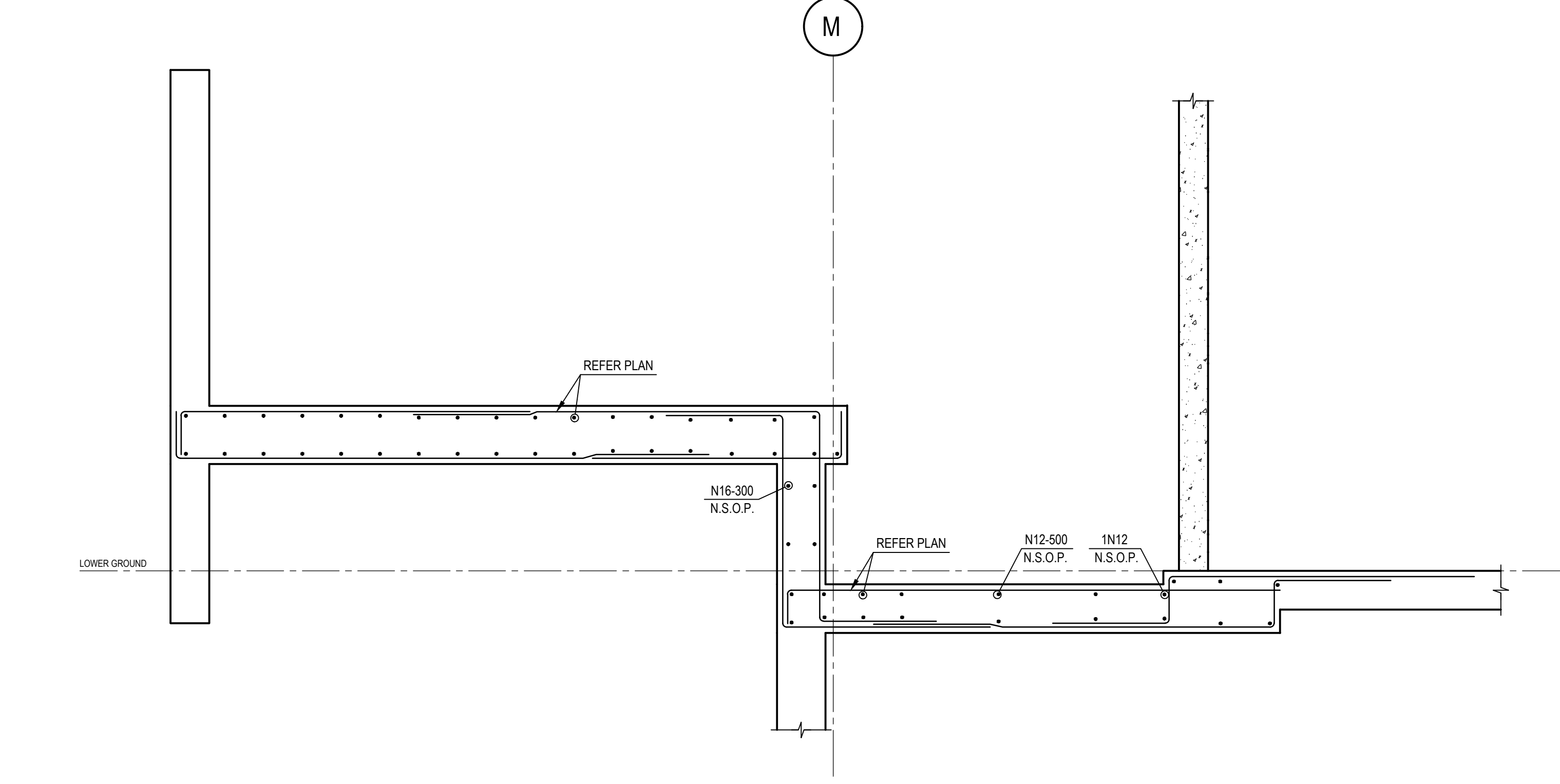
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SCALE 1:20  
S06-02



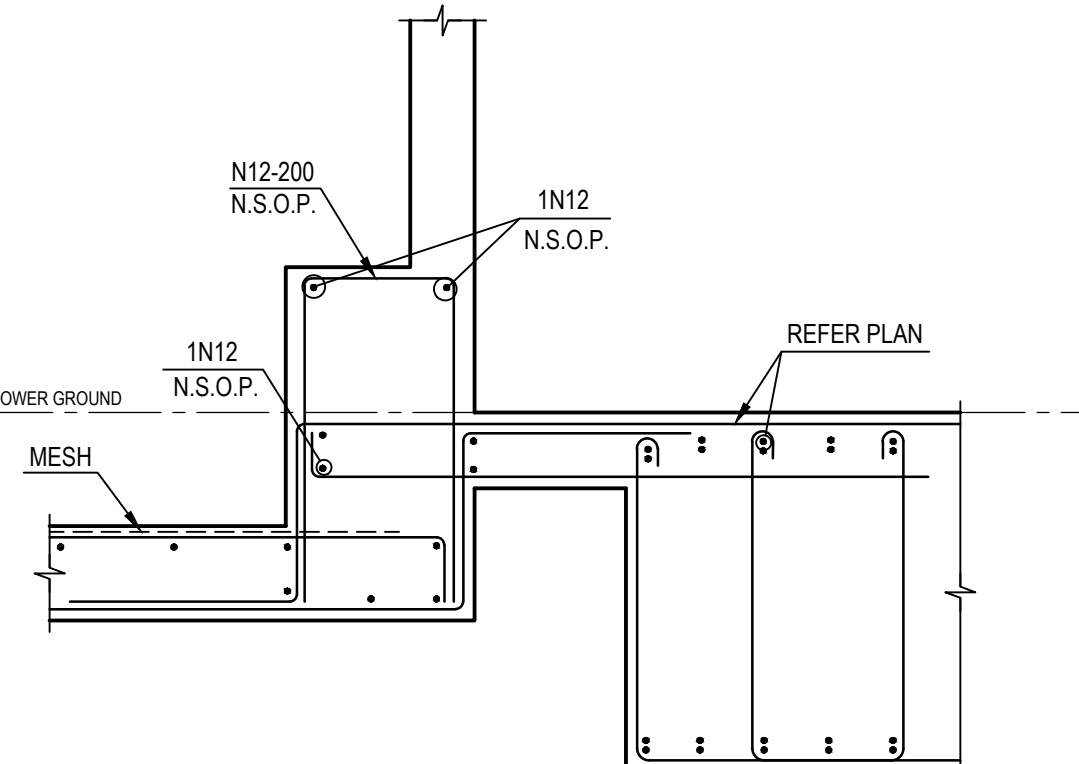
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SCALE 1:20  
S06-02



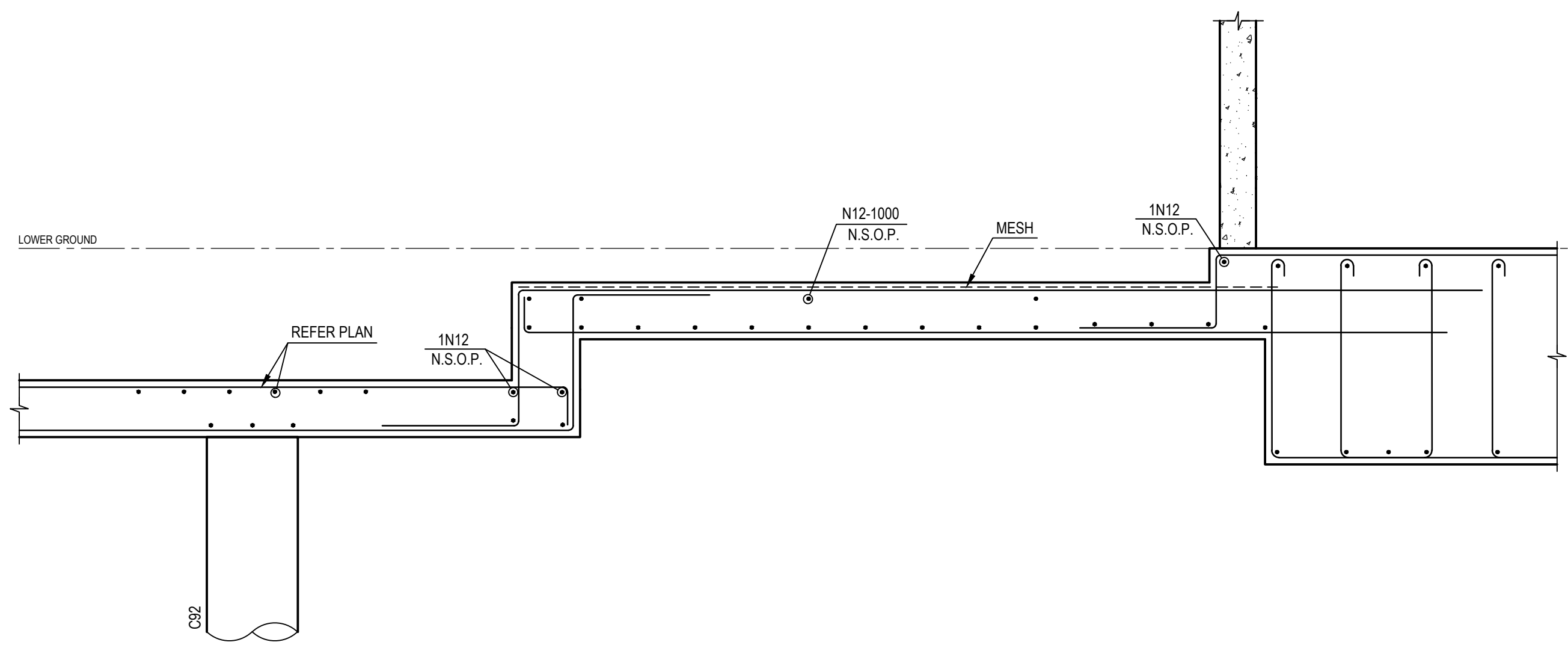
SECTION LG.58  
SCALE 1:20  
S06-02



SECTION LG.59  
SCALE 1:20  
S06-02



SECTION LG.60  
SCALE 1:20  
S06-02



SECTION LG.61  
SCALE 1:20  
S06-02

- NOTES:
1. REFER DRG. No. S01-01 AND S01-03 FOR STRUCTURAL NOTES
  2. REFER DRG. No. S01-11 FOR TYPICAL DETAILS
  3. ALL SET OUT DIMENSIONS, LEVELS, SET DOWNS, KERBS, KERBS AND FALLS, REFER TO ARCHITECTS DRAWINGS.

REVISIONS			
No.	REVISION DESCRIPTION	M.N.	DATE
1	ISSUE FOR CONSTRUCTION	M.N.	15-02-2022

SCALE BAR 0 10 20 30 40 50 100 mm 1:1	WHERE THE DRAWING HAS BEEN ALTERED, AMENDED OR CHANGED, OTHER THAN BY THE ARCHITECT OR ENGINEER, THE ARCHITECT OR ENGINEER SHALL BE ADVISED IN WRITING. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE CORRECTION OF THE DRAWING. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE CORRECTION OF THE DRAWING. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE CORRECTION OF THE DRAWING.
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CLIENT PROBUILD 85 MACQUARIE AVENUE, RUSHCUTTERS BAY, NSW, 2011	ARCHITECT CANDELEPAS ASSOCIATES 309 SUSSEX STREET, SYDNEY, NSW, 2000 T: 02 9283 7755 F: 02 9283 7477
--	---

PROJECT TITLE BUILDING C1, MIDTOWN ESTATE HERRING ROAD, MACQUARIE PARK	DRAWING TITLE LOWER GROUND - SECTIONS - SHEET 5
--	--

ISSUED FOR CONSTRUCTION			
PROJECT LEADER A.A.	DESIGNER N.N.	SIGNATURE	
DRAFTSPERSON M.N.	SCALE 1:20	DATE FEBRUARY 2022	SHEET SIZE A0
FORM SY210-098	FORM S06-55	REVISION 1	





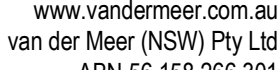
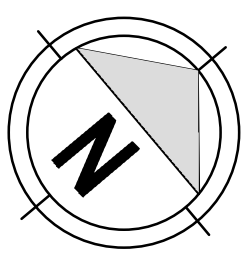
CLIENT

**PROBUILD**  
85 McLACHLAN AVENUE,  
RUSHCUTTERS BAY, NSW, 2011

[illegible]

PROJECT TITLE  
BUILDING C1, MIDTOWN ESTATE  
HERRING ROAD, MACQUARIE PARK

DRAWING TITLE  
LOWER GROUND - SECTIONS - SHEET 6

ARCHITECT






DRAWING :

CRAFTSPE






**NOTES:**

1. REFER DRG. No. S01-01 AND S01-02 FOR STRUCTURAL NOTES
2. REFER DRG. No. S01-51 AND S01-52 FOR TYPICAL DETAILS
3. FOR ALL SET OUT DIMENSIONS, LEVELS, SET DOWNS, HOBS, KERBS AND FALLS, REFER TO ARCHITECTS DRAWINGS

### WALL PLAN LEGEND


- |   |   |
|---|---|
|  | DENOTES RITEK WALL OVER   |
|  | DENOTES RC WALL OR COLUMN OVER  |
|  | DENOTES PRECAST OR TILT-UP PANEL OVER   |
|  | DENOTES LOADBEARING WALL UNDER.<br>REFER TO PLAN OF LEVEL BELOW FOR WALL TYPE |
|  | DENOTES RC WALL OR COLUMN UNDER AND OVER                                      |

**LEGEND:**

- |   |   |
|---|---|
| C.  | DNOTES RC PRECAST COLUMN.   |
| PC.   | DNOTES PRECAST CONCRETE COLUMN.   |
| W.  | DNOTES REINFORCED CONCRETE WALL TYPE.   |
| CW.   | DNOTES REINFORCED COR WALL TYPE.<br>REFER S60 SERIES FOR ELEVATIONS AND DETAILS   |
| BW.   | DNOTES BLOCKWALL TYPE.  |
| PW_(D)  | PW. DNOTES PRECAST WALL TYPE.<br>(D) DNOTES DOWEL INTO THIS SLAB DETAIL.<br>REFER S65 SERIES DRAWINGS FOR DETAILS   |
| TW.   | DNOTES TRANSFER WALL TYPE.<br>REFER S60 SERIES DRAWINGS FOR DETAILS   |
| NLB   | DNOTES NONLOAD BEARING WALL TYPE  |
| <b>200</b>  | DNOTES SLAB THICKNESS   |
| <b>210 *</b>  | DNOTES SLAB THICKNESS WHERE SLAB HAS BEEN<br>ENHANCED BY 50mm AT THE REQUEST OF BUILDER<br>TOP OF SLAB SLOPE TO MAXIMUM 50mm LOWER AT<br>DRAINAGE OUTLETS |
| <b>STEP</b>  | DNOTES SLAB STEP  |
|              | DNOTES SLUMP  |
|              | DNOTES SPAN DIRECTION ON 0.75 BMT BONDEK  |
| <b>SJ</b>   | DNOTES SAWN JOINT.<br>REFER DNO. NO. 303-S1 FOR TYPICAL DETAILS.  |
| <b>KDJ</b>  | DNOTES KEYED DOWELED JOINT.<br>REFER DNO. NO. 303-S1 FOR TYPICAL DETAILS.   |
| <b>CJ</b>   | DNOTES CONSTRUCTION JOINT.<br>REFER DNO. NO. 301-S1 FOR TYPICAL DETAILS.  |
| <b>PMJ</b>  | DNOTES PERMANENT MOVEMENT JOINT.<br>REFER DNO. NO. 301-S1 FOR TYPICAL DETAILS.  |
| <b>TMJ</b>  | DNOTES TEMPORARY MOVEMENT JOINT.<br>REFER DNO. NO. 301-S1 FOR TYPICAL DETAILS.  |
|              | DNOTES EXTENT OF BONDEK SLABS   |
|              | DNOTES POUR SEQUENCE NUMBER   |



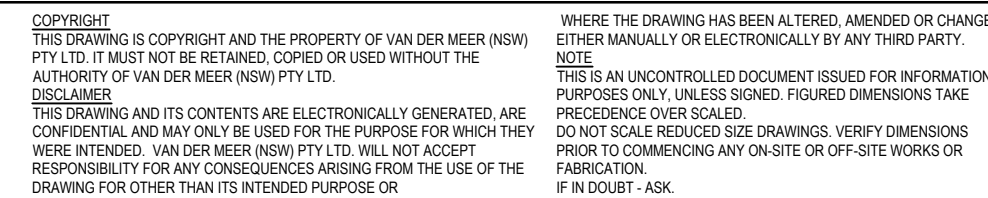
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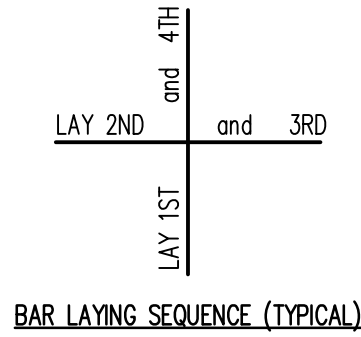
ARCHITECT **CANDELEPAS ASSOCIATES**  
309 SUSSEX STREET, SYDNEY, NSW, 2000  
T: 02 9283 7755 F: 02 9283 7477

DRAWING TITLE  
UPPER GROUND - WEST  
TIES REINFORCEMENT PLAN

BAR LAYING SEQUENCE (TYPICAL)

Regulated Design record				
Project Address: HERRING ROAD, MACQUARIE PARK				
Project Title: BUILDING C1, MIDTOWN ESTATE				
Consent No: SSD 8903			Body Corporate No: -	
Drawing Title: UPPER GROUND - EAST TIES REINFORCEMENT PLAN			Drawing Number: S07-12	
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No
001	15-02-2022	ISSUED FOR CONSTRUCTION	ASHKAN AFKARI (SR)MDMABN	18P007118

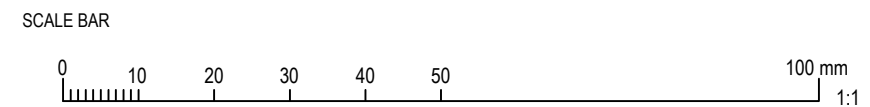
NOTES:  
1. REFER DRG. No. S01-01 AND S01-03 FOR STRUCTURAL NOTES  
2. REFER DRG. No. S01-11 FOR TYPICAL DETAILS  
3. FOR ALL SET OUT DIMENSIONS, LEVELS, SET DOWNS, HOBS, KERBS AND FALLS, REFER TO ARCHITECTS DRAWINGS.



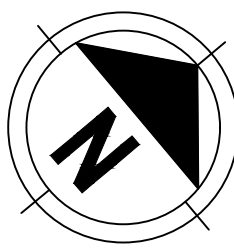
UPPER GROUND - EAST - TIES REINFORCEMENT PLAN  
SCALE 1:100  
NOTE: REFER TYPICAL DETAILS FOR TEMPORARY MOVEMENT JOINT DETAIL

TIE SCHEDULE		
MARK	TYPE	SHAPE & REMARKS
CT2	N12-200 2 LEGS CLOSED TIE	
CT2A	N12-150 2 LEGS CLOSED TIE	
CT2B	N12-150 2 LEGS CLOSED TIE	
CT2C	N12-150 2 LEGS CLOSED TIE	
T6A	N12-200 6 LEGS OPEN TIE	

REVISIONS			
No.	REVISION DESCRIPTION	DATE	BY
1	ISSUE FOR CONSTRUCTION	15-02-2022	M.N.



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www.vandermoor.com.au  
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ABN 56 158 266 301

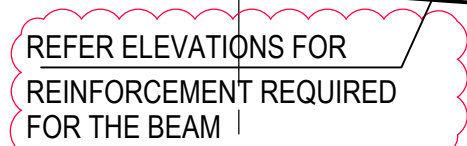
CLIENT  
**PROBUILD**  
85 MACQUARIE AVENUE,  
RUSHCUTTERS BAY, NSW, 2011  
ARCHITECT  
**CANDALEPAS ASSOCIATES**  
309 SUSSEX STREET, SYDNEY, NSW, 2000  
T: 02 9283 7755 F: 02 9283 7477

PROJECT TITLE  
**BUILDING C1, MIDTOWN ESTATE  
HERRING ROAD, MACQUARIE PARK**  
DRAWING TITLE  
**UPPER GROUND - EAST  
TIES REINFORCEMENT PLAN**

DRAWING STATUS  
**ISSUED FOR CONSTRUCTION**  
PROJECT LEADER  
A.A.  
DESIGNER  
N.N.  
SCALE  
1:100  
DATE  
FEBRUARY 2022  
SHEET SIZE  
A0  
SHEET NO.  
1

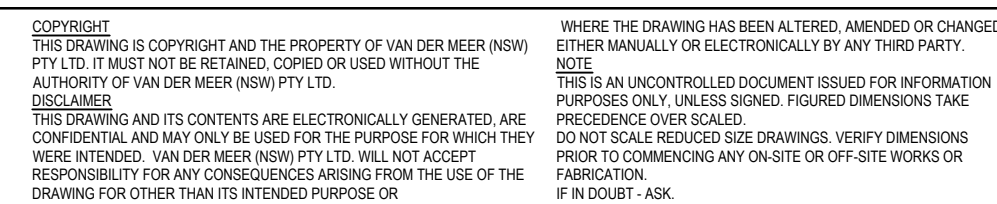


BAR LAYING SEQUENCE (TYPICAL)



**NOTE:** REFER POST-TENTIONING NOTES FOR PAN TRIMMERS U.N.O.

REVISIONS					
ISSUE FOR CONSTRUCTION			M.N.	15-03-2022	
ISSUE FOR CONSTRUCTION			M.N.	24-01-2022	
	REVISION DESCRIPTION		DRAWN	DATE	



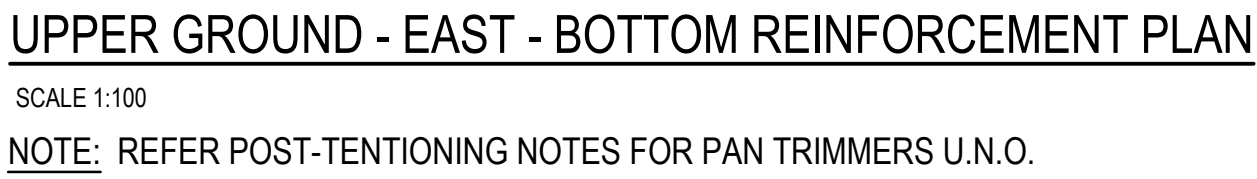
ARCHITECT **CANDELEPAS ASSOCIATES**  
309 SUSSEX STREET, SYDNEY, NSW, 2000  
T: 02 9283 7755 F: 02 9283 7477

DRAWING TITLE  
UPPER GROUND - WEST  
BOTTOM REINFORCEMENT PLAN


PROJECT LEADER A.A.	DESIGNER N.N.	SIGNATURE	
DRAFTSPERSON M.N.	SCALE 1:100	DATE FEBRUARY 2022	SHEET # A0
JOB No. SY210-098		DRAWING No. S07-21	REVISION 2



BAR LAYING SEQUENCE (TYPICAL)



**SCALE BAR**



0 10 20 30 40 50 100 mm  
1:1

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PROJECT TITLE  
**BUILDING C1, MIDTOWN ESTATE**  
HERRING ROAD, MACQUARIE PARK

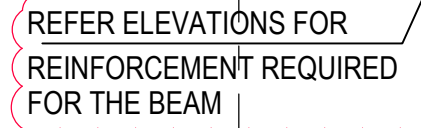
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DRAWING TITLE  
**UPPER GROUND - EAST**  
**BOTTOM REINFORCEMENT PLAN**

DRAWING STATUS			
<b>ISSUED FOR CONSTRUCTION</b>			
PROJECT LEADER A.A.	DESIGNER N.N.	SIGNATURE	
DRAFTSPERSON M.N.	SCALE 1:100	DATE FEBRUARY 2022	SHEET SIZE A0
JOB No. SY210-098		DRAWING No. S07-22	REVISION 1



BAR LAYING SEQUENCE (TYPICAL)



REVISIONS			
2	ISSUE FOR CONSTRUCTION	M.N.	15-02-2022
1	ISSUE FOR CONSTRUCTION	M.N.	24-01-2022
No.	REVISION DESCRIPTION	DRAWN	DATE

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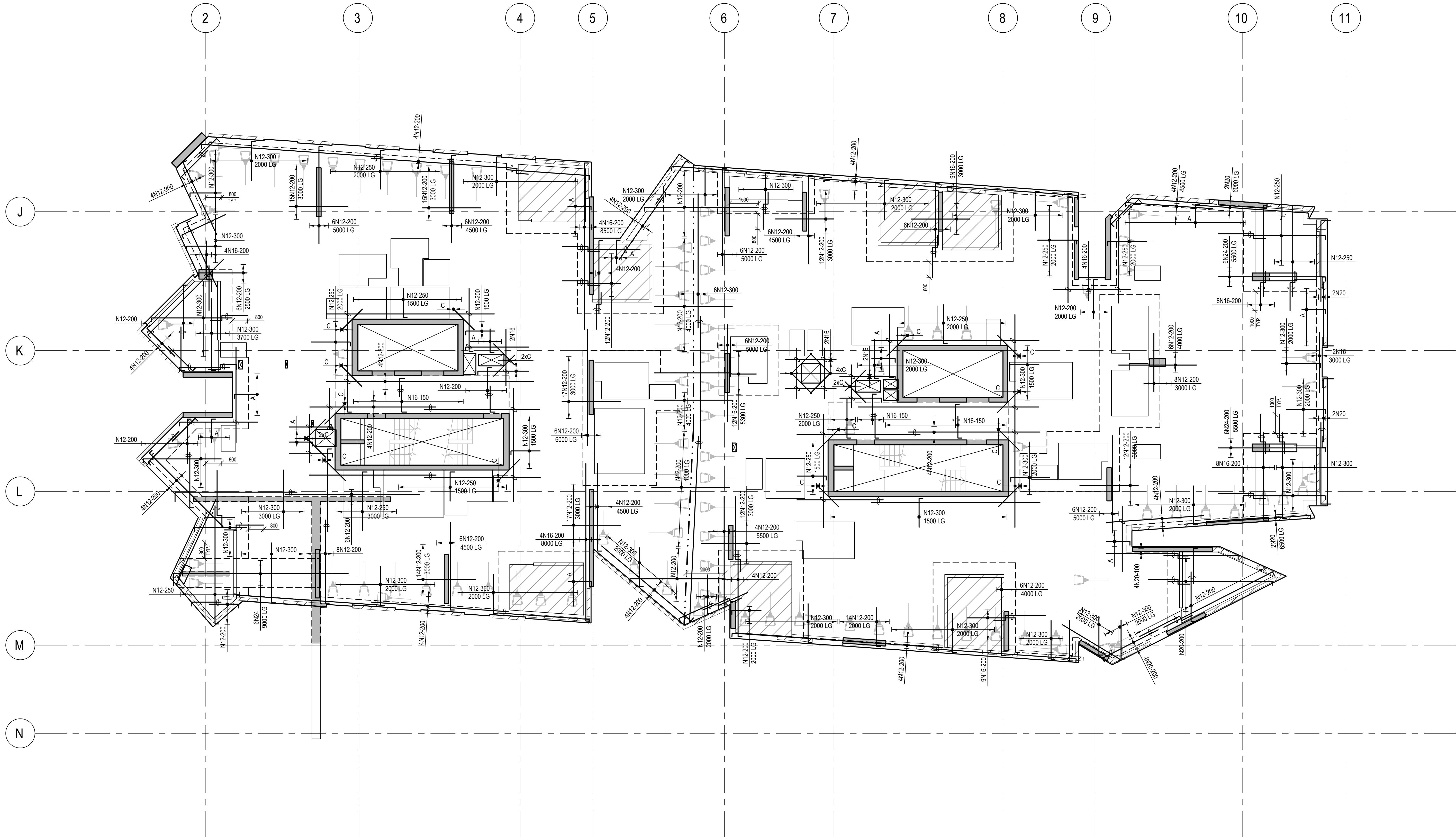
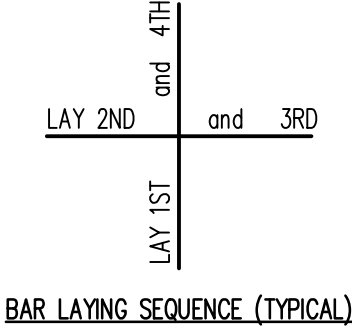
DRAWING TITLE  
UPPER GROUND - WEST  
TOP REINFORCEMENT PLAN

PROJECT LEADER A.A.	DESIGNER N.N.	SIGNATURE	
DRAFTSPERSON M.N.	SCALE 1:100	DATE FEBRUARY 2022	SHEET # A0
JOB No. SY210-098		DRAWING No. S07-31	REVISION 2



Regulated Design record				
Project Address: HERRING ROAD, MACQUARIE PARK				
Project Title: BUILDING C1, MIDTOWN ESTATE				
Consent No: SSD 8903		Body Corporate No: -		
Drawing Title: UPPER GROUND - EAST TOP REINFORCEMENT PLAN		Drawing Number: S07-32		
Rev	Date	Description	DP Full Name	Reg No
001	15-02-2022	ISSUED FOR CONSTRUCTION	ASHKAN AFKARI (SP/MD/ARCH)	DEP000118

NOTES:  
1. REFER DRG. No. S01-01 AND S01-03 FOR STRUCTURAL NOTES  
2. REFER DRG. No. S01-11 FOR TYPICAL DETAILS  
3. FOR ALL SET OUT DIMENSIONS, LEVELS, SET DOWNS, HOBS, KERBS AND FALLS, REFER TO ARCHITECTS DRAWINGS.



UPPER GROUND - EAST - TOP REINFORCEMENT PLAN

SCALE 1:100

NOTE: REFER POST-TENSIONING NOTES FOR PAN TRIMMERS U.N.O.

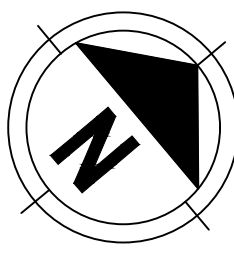
Denotes areas with SL92 top mesh

REINFORCEMENT SCHEDULE		
MARK	TYPE	SHAPE & REMARKS
A	N12-300	
A1	N12-300	
C	2N16-150	

REVISIONS			
No.	REVISION DESCRIPTION	DATE	BY
1	ISSUE FOR CONSTRUCTION	15-02-2022	M.N.



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CLIENT	PROBUILD 85 MACQUARIE AVENUE, RUSHCUTTERS BAY, NSW, 2011
ARCHITECT	CANDALEPAS ASSOCIATES 309 SUSSEX STREET, SYDNEY, NSW, 2000 T: 02 9283 7755 F: 02 9283 7477

PROJECT TITLE	BUILDING C1, MIDTOWN ESTATE HERRING ROAD, MACQUARIE PARK
---------------	---

DRAWING TITLE	UPPER GROUND - EAST TOP REINFORCEMENT PLAN
---------------	---

ISSUED FOR CONSTRUCTION			
PROJECT LEADER A.A.	DESIGNER N.N.	SIGNATURE	
DRAFTSPERSON M.N.	SCALE 1:100	DATE FEBRUARY 2022	SHEET SIZE A0
FORM SY210-098	REVISIONS S07-32		



**NOTES:**

1. REFER DRG. No. S01-01 AND S01-03 FOR STRUCTURAL NOTES
2. REFER DRG. No. S01-11 FOR TYPICAL DETAILS
3. FOR ALL SET OUT DIMENSIONS, LEVELS, SET DOWNS, HOBS, KERBS AND FALLS, REFER TO ARCHITECTS DRAWINGS

CHAIR TAKE-OFF									
HERING ROAD, MACQUARIE PARK									
PROJECT NAME: UPPER GROUND - WEST - PAIR 1									
PROJECT NO:		SITE NO:		SHEET NO:		DATE:		PAGE NO:	
SY20-00				507-41				2	
NO	QTY	DATE	QTY	NO	QTY	DATE	QTY	NO	QTY
1	1	1995	1	20	275	1995	275	39	275
2	2	1995	1	21	300	1995	300	40	300
3	2	1995	1	22	300	1995	300	41	300
4	2	1995	1	23	300	1995	300	42	300
5	29	2000	2	24	300	1995	300	43	300
6	48	2000	2	25	300	1995	300	44	300
7	22	2000	2	26	300	1995	300	45	300
8	22	2000	2	27	300	1995	300	46	300
9	44	2200	1	28	300	1995	300	47	300
10	47	2200	1	29	300	1995	300	48	300
11	26	2300	2	30	300	1995	300	49	300
12	26	2300	2	31	300	1995	300	50	300
13	11	2400	1	32	300	1995	300	51	300
14	11	2400	1	33	300	1995	300	52	300
15	25	2500	2	34	300	1995	300	53	300
16	25	2500	2	35	300	1995	300	54	300
17	25	2500	2	36	300	1995	300	55	300
18	25	2500	2	37	300	1995	300	56	300
19	25	2500	2	38	300	1995	300	57	300
20	25	2500	2	39	300	1995	300	58	300
21	25	2500	2	40	300	1995	300	59	300
22	25	2500	2	41	300	1995	300	60	300
23	25	2500	2	42	300	1995	300	61	300
24	25	2500	2	43	300	1995	300	62	300
25	25	2500	2	44	300	1995	300	63	300
26	25	2500	2	45	300	1995	300	64	300
27	25	2500	2	46	300	1995	300	65	300
28	25	2500	2	47	300	1995	300	66	300
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37	25	2500	2	56	300	1995	300	75	300
38	25	2500	2	57	300	1995	300	76	300
39	25	2500	2	58	300	1995	300	77	300
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42	25	2500	2	61	300	1995	300	80	3



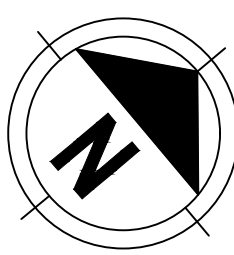
SCALE BAR

0 10 20 30 40 50 100 mm

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ABN 56 158 266 301

CLIENT

**PROBUILD**  
85 McLACHLAN AVENUE,  
RUSHCUTTERS BAY, NSW, 2011

ARCHITECT **CANDELEPAS ASSOCIATES**  
309 SUSSEX STREET, SYDNEY, NSW, 2000  
T: 02 9283 7755 F: 02 9283 7477

PROJECT TITLE  
**BUILDING C1, MIDTOWN ESTATE**  
HERRING ROAD, MACQUARIE PARK

DRAWING TITLE  
UPPER GROUND - WEST  
POST TENSIONING PLAN

DRAWING STATUS

**ISSUED FOR CONSTRUCTION**

PROJECT LEADER A.A.	DESIGNER N.N.	SIGNATURE	
DRAFTSPERSON M.N.	SCALE 1:100	DATE FEBRUARY 2022	SHEET 3 A0
JOB No. SY210-098		DRAWING No. S07-41	REVISION 2

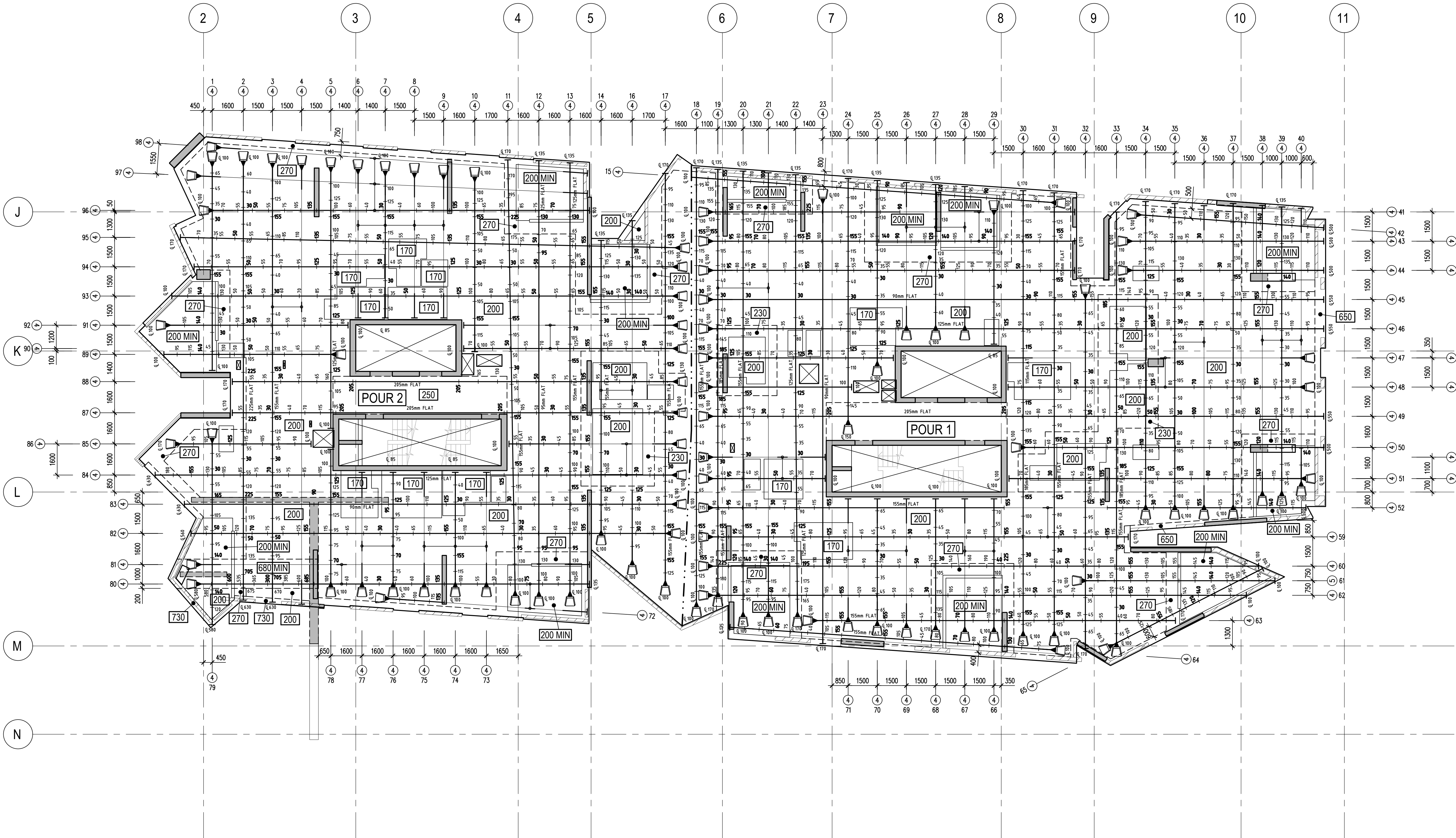


Regulated Design record				
Project Address: HERRING ROAD, MACQUARIE PARK				
Project Title: BUILDING C1, MIDTOWN ESTATE				
Consent No: SSD 8903		Body Corporate No: -		
Drawing Title: UPPER GROUND - EAST POST TENSIONING PLAN		Drawing Number: S07-42		
Rev	Date dd-mm-yy	Description	DP Full Name	Reg No
001	15-02-2022	ISSUED FOR CONSTRUCTION	ASHMAN ANANI (SP/MD/MB/2)	139007118

NOTES:  
1. REFER DRG. No. S01-01 AND S01-03 FOR STRUCTURAL NOTES  
2. REFER DRG. No. S01-11 FOR TYPICAL DETAILS  
3. FOR ALL SET OUT DIMENSIONS, LEVELS, SET DOWNS,  
HOBS, KERBS AND FALLS, REFER TO ARCHITECTS DRAWINGS.

CHAIR TAKE-OFF HERRING ROAD, MACQUARIE PARK					
UPPER GROUND - EAST - POUR 2					
PROJECT NO. SY210-098		DRAWING NO. S07-42		SHEET NO. 1	
BAR CODE	QUANTITY	BAR CODE	QUANTITY	BAR CODE	QUANTITY
20	-	185	-	350	-
20	-	185	-	350	-
30	68	185	1	360	-
30	17	200	-	360	-
40	27	200	17	370	-
40	27	215	-	370	-
50	37	215	-	380	-
50	48	220	-	380	-
60	17	220	6	390	-
60	30	220	-	390	-
70	30	220	-	400	-
70	20	240	-	400	-
80	13	240	-	410	-
80	25	250	-	410	-
90	50	250	-	420	-
90	44	250	-	430	-
100	35	270	-	430	-
100	15	270	-	440	-
110	22	280	-	440	-
120	10	280	-	450	-
120	47	290	-	450	-
130	13	290	-	460	-
130	19	300	2	460	-
140	7	300	-	470	-
140	-	310	-	470	-
150	60	320	-	480	-
150	4	320	-	480	-
160	2	330	-	490	-
170	1	330	-	500	-
170	1	340	-	500	-
180	1	340	-	510	-
180	1	340	-	520	-

CHAIR TAKE-OFF HERRING ROAD, MACQUARIE PARK					
UPPER GROUND - EAST - POUR 1					
PROJECT NO. SY210-098		DRAWING NO. S07-42		SHEET NO. 1	
BAR CODE	QUANTITY	BAR CODE	QUANTITY	BAR CODE	QUANTITY
20	-	185	13	350	-
20	-	185	1	350	-
30	64	185	1	360	-
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40	43	200	11	370	-
40	30	215	-	370	-
50	34	215	-	380	-
50	30	220	-	380	-
60	18	220	3	390	-
60	30	220	-	390	-
70	30	220	-	400	-
70	20	240	-	400	-
80	13	240	-	410	-
80	25	250	-	410	-
90	50	250	-	420	-
90	44	250	-	430	-
100	35	270	-	430	-
100	15	270	-	440	-
110	22	280	-	440	-
120	10	280	-	450	-
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130	13	290	-	460	-
130	19	300	2	460	-
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140	-	310	-	470	-
150	60	320	-	480	-
150	4	320	-	480	-
160	2	330	-	490	-
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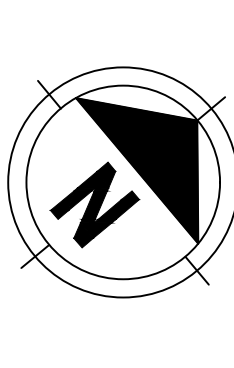


UPPER GROUND - EAST - POST TENSIONING PLAN

SCALE 1:100  
NOTE: ALL TENDONS TO BE 12.7mm DIA. STRAND U.N.O.

REVISIONS			
No.	REVISION DESCRIPTION	M.N.	DATE
1	ISSUE FOR CONSTRUCTION	M.N.	15-02-2022

SCALE BAR	
0 10 20 30 40 50	100 mm 1:1

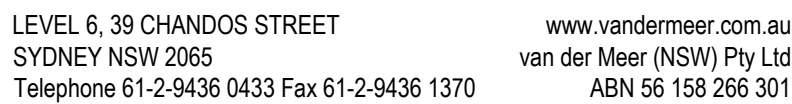
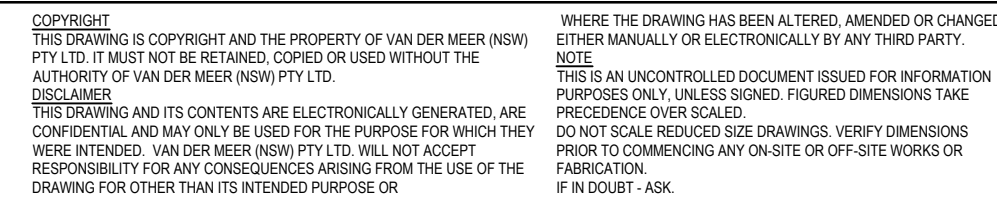
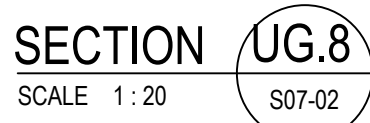
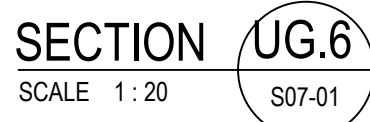
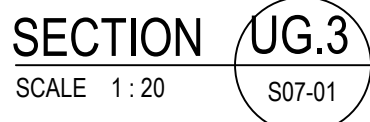
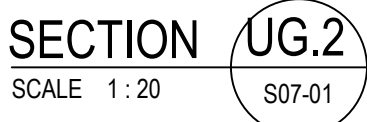
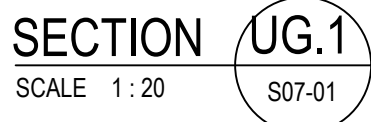


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SYDNEY NSW 2000  
Telephone 61-2-9436 0433 Fax 61-2-9436 1370  
www.vandermoor.com.au  
van der Meer (NSW) Pty Ltd  
ABN 56 155 266 301

CLIENT  
**PROBUILD**  
85 MACACLAN AVENUE,  
RUSHCUTTERS BAY, NSW, 2011  
ARCHITECT  
**CANDALEPAS ASSOCIATES**  
309 SUSSEX STREET, SYDNEY, NSW, 2000  
T: 02 9283 7756 F: 02 9283 7477

PROJECT TITLE  
**BUILDING C1, MIDTOWN ESTATE  
HERRING ROAD, MACQUARIE PARK**  
DRAWING TITLE  
**UPPER GROUND - EAST  
POST TENSIONING PLAN**

DRAWING STATUS  
**ISSUED FOR CONSTRUCTION**  
PROJECT LEADER  
A.A.  
DESIGNER  
N.N.  
SCALE  
1:100  
DATE  
FEBRUARY 2022  
SHEET SIZE  
A0  
DRAWING NO.  
S07-42  
SHEET NO.  
1



**CANDELEPAS ASSOCIATES**  
309 SUSSEX STREET, SYDNEY, NSW, 2000  
T: 02 9283 7755 F: 02 9283 7477

UPPER GROUND - SECTIONS - SHEET 1

M.N.	1:20	FEBRUARY 2022	A0
JOB No.	DRAWING No.		REVISION
SY210-098	S07-51		1