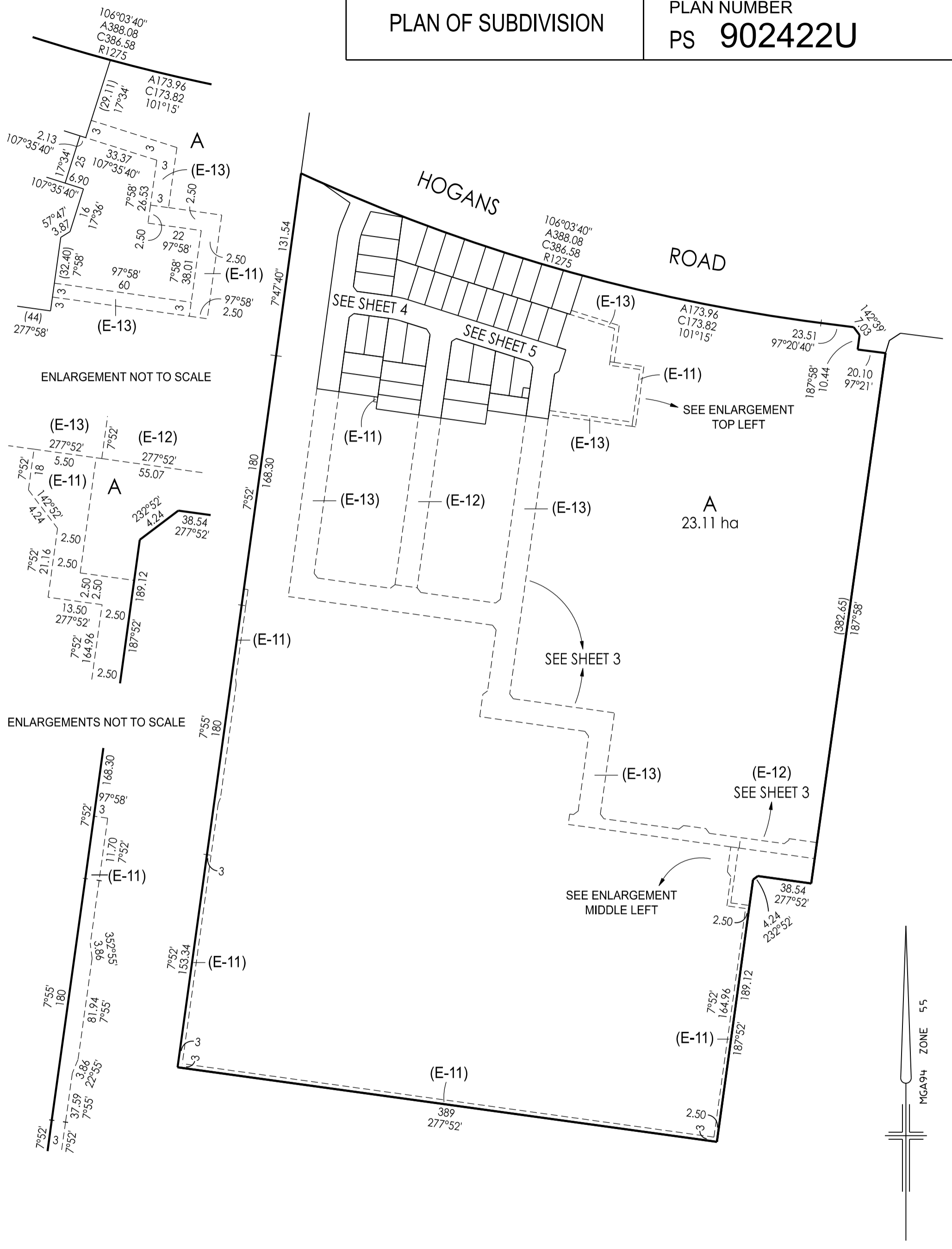


|  |  |   |                                   |                                       |
|--|--|---|-----------------------------------|---------------------------------------|
| <b>PLAN OF SUBDIVISION</b>   |  | <b>LRS USE ONLY<br/>EDITION</b>   | <b>PLAN NUMBER<br/>PS 902422U</b> |                                       |
| <b>LOCATION OF LAND</b><br><b>PARISH:</b> TARNEIT<br><br><b>TOWNSHIP:</b> -----<br><br><b>SECTION:</b> 8<br><br><b>CROWN ALLOTMENT:</b> -----<br><br><b>CROWN PORTION:</b> B (PART)<br><br><b>TITLE REFERENCES:</b> VOL FOL<br><br><b>LAST PLAN REFERENCE:</b> LOT B ON PS844125W<br><br><b>POSTAL ADDRESS:<br/>(at time of subdivision)</b> HOGANS ROAD<br>TARNEIT 3029<br><br><b>MGA 94 CO-ORDINATES:<br/>(of approx. centre of plan)</b> E: 292 370    ZONE: 55<br>N: 5 807 290    DATUM: GDA94 |  | <b>COUNCIL NAME:</b> WYNDHAM CITY COUNCIL   |                                   |                                       |
| <b>VESTING OF ROADS OR RESERVES</b>  |  | <b>NOTATIONS</b>  |                                   |                                       |
| <b>IDENTIFIER</b>  | <b>COUNCIL/BODY/PERSON</b>                     | TANGENT POINTS ARE SHOWN THUS:<br>NTP DENOTES NON TANGENTIAL POINT<br>LOTS 1 TO 4610 (BOTH INCLUSIVE) AND EASEMENTS (E-1) TO (E-10) (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN<br><b>TOTAL ROAD AREA: 6423m<sup>2</sup></b><br><br><b>FURTHER PURPOSE OF PLAN:</b><br>TO REMOVE THE EASEMENT SHOWN AS (E-3) ON PS844125W WHICH LIES WITHIN THE LAND IN THIS PLAN<br><b>GROUNDS FOR REMOVAL:</b><br>BY AGREEMENT, SECTION 6(1)(K)(iii) SUBDIVISION ACT 1988 |                                   |                                       |
| ROAD R1<br>RESERVE No. 1   | WYNDHAM CITY COUNCIL<br>POWERCOR AUSTRALIA LTD |   |                                   |                                       |
| <b>NOTATIONS</b>   |  | <b>DEPTH LIMITATION</b> DOES NOT APPLY<br><br><b>SURVEY:</b> THIS PLAN IS BASED ON SURVEY VIDE BP2735<br><br>THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s). 18 & 845<br><br>LAND NOT IN PROCLAIMED SURVEY AREA<br><b>STAGING</b><br>THIS IS NOT A STAGED SUBDIVISION<br>PLANNING PERMIT No. WYP11051/18   |                                   |                                       |
| <b>NOTATIONS</b>   |  |   |                                   |                                       |
| DEPTH LIMITATION DOES NOT APPLY  |  |   |                                   |                                       |
| <b>ESTATE:</b> THE GROVE 46  |  | <b>AREA:</b> 2.139 ha   | <b>No. OF LOTS:</b> 39            | <b>MELWAY:</b> 234:E:8                |
| <b>EASEMENT INFORMATION</b>  |  |   |                                   |                                       |
| <b>LEGEND:</b> A - APPURTENANT    E - ENCUMBERING EASEMENT    R - ENCUMBERING EASEMENT (ROAD)  |  |   |                                   |                                       |
| <b>EASEMENT REFERENCE</b>  | <b>PURPOSE</b>                                 | <b>WIDTH (METRES)</b>   | <b>ORIGIN</b>                     | <b>LAND BENEFITED OR IN FAVOUR OF</b> |
| (E-11)   | SEWERAGE                                       | SEE PLAN  | THIS PLAN                         | GREATER WESTERN WATER COPORATION      |
| (E-12)   | DRAINAGE                                       | SEE PLAN  | THIS PLAN                         | WYNDHAM CITY COUNCIL                  |
| (E-13)   | SEWERAGE                                       | SEE PLAN  | THIS PLAN                         | GREATER WESTERN WATER COPORATION      |
| (E-13)   | DRAINAGE                                       | SEE PLAN  | THIS PLAN                         | WYNDHAM CITY COUNCIL                  |
|  |  |   |                                   |                                       |
| <b>Breese Pitt Dixon Pty Ltd</b><br>1/19 Cato Street<br>Hawthorn East Vic 3123<br>Ph: 8823 2300 Fax: 8823 2310<br>www.bpd.com.au info@bpd.com.au   |  | <b>REF:</b> 8352/46 <b>VERSION:</b> 4<br><br><b>LICENSED SURVEYOR:</b> SIMON COX  | <b>ORIGINAL SHEET SIZE A3</b>     | <b>SHEET 1 OF 6 SHEETS</b>            |
| <b>CHECKED</b> TT  | <b>DATE:</b> 20/04/2023                        |   |                                   |                                       |

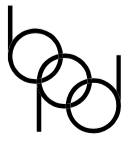
PLAN OF SUBDIVISION

PLAN NUMBER  
PS 902422U



ENLARGEMENT NOT TO SCALE

ENLARGEMENTS NOT TO SCALE

  
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SCALE

1:2500



ORIGINAL SHEET SIZE A3

SHEET 2

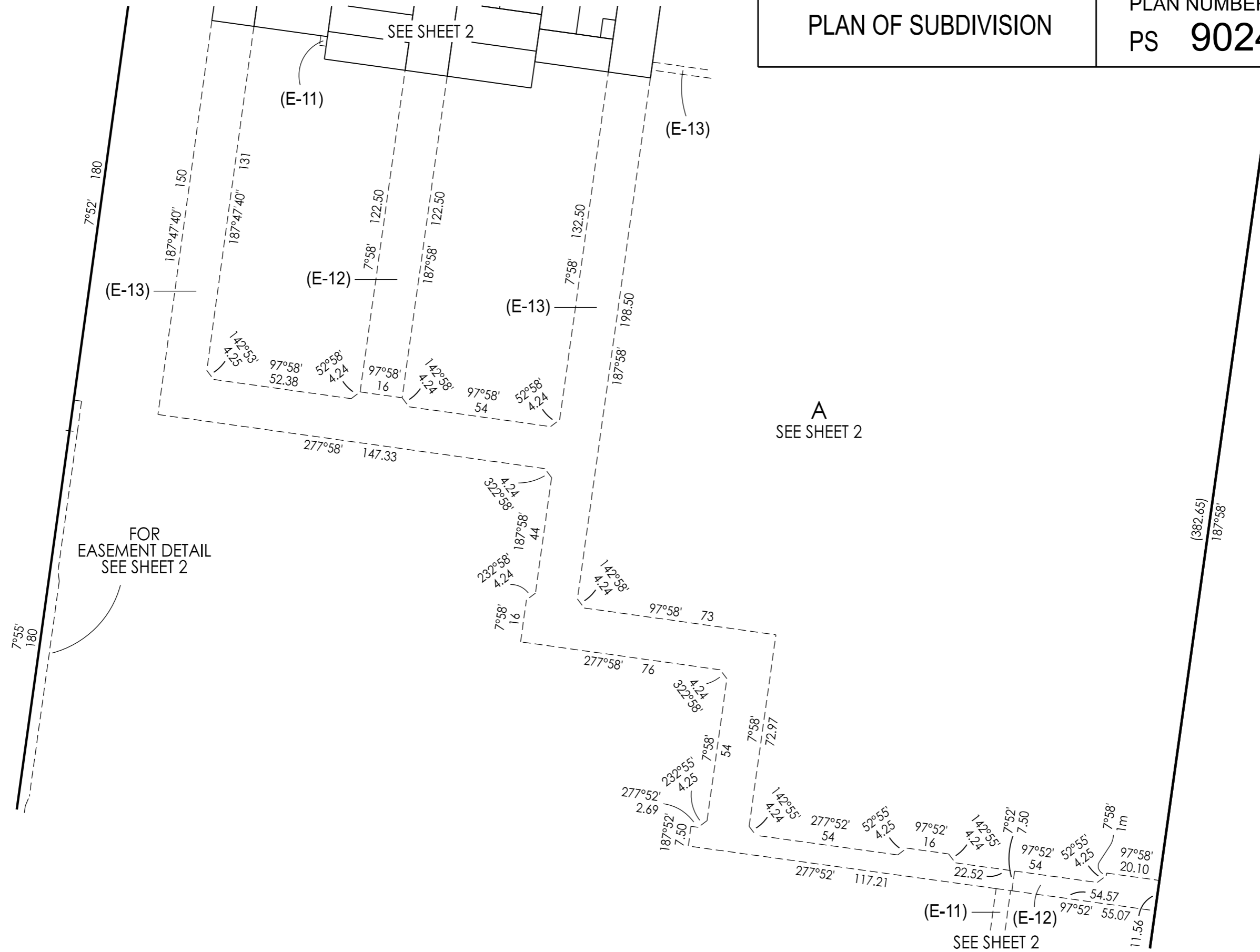
REF: 8352/46

VERSION: 4

LICENSED SURVEYOR: SIMON COX

PLAN OF SUBDIVISION

PLAN NUMBER  
PS 902422U



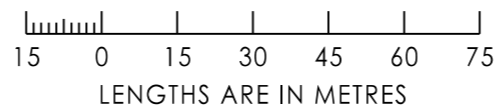
FOR  
EASEMENT DETAIL  
SEE SHEET 2



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SCALE

1:1500



REF: 8352/46

VERSION: 4

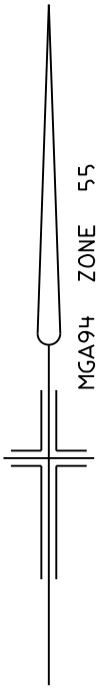
LICENSED SURVEYOR: SIMON COX

ORIGINAL  
SHEET SIZE A3

SHEET 3

PLAN OF SUBDIVISION

PLAN NUMBER  
PS 902422U



7°47'40" 131.54

A  
SEE SHEET 2

7°52' 180

187°47'40" 150

A  
SEE SHEET 2

SEE SHEET 5

A&C15.83  
294°26' NTP

25.18  
305°14'

113°31'  
A&C24.57

HOGANS

A&C16  
292°36'

111°41'  
A&C25.21

106°03'40"  
A388.08  
C386.58  
R1275

ROAD

4640 429m<sup>2</sup>

4641

4642

4639 391m<sup>2</sup>  
(E-12)

497m<sup>2</sup>  
(E-13)

408m<sup>2</sup>  
(E-13)

4643

4638 350m<sup>2</sup>

4637 388m<sup>2</sup>  
(E-12)

4636 359m<sup>2</sup>

4635 313m<sup>2</sup>

4634

R1

PERSLEY

R1

STREET

4613 388m<sup>2</sup>  
(E-13)

4614 392m<sup>2</sup>  
(E-13)

4615 418m<sup>2</sup>  
(E-13)

4616 459m<sup>2</sup>  
(E-13)

4612 415m<sup>2</sup>  
(E-11)

4611 392m<sup>2</sup>  
(E-11)

4619 323m<sup>2</sup>  
(E-11)

432m<sup>2</sup>

4617 323m<sup>2</sup>

4618 323m<sup>2</sup>

4619 323m<sup>2</sup>

DILLY

STREET

R1

HUSTLING

SCALE

1:500



ORIGINAL  
SHEET SIZE A3

SHEET 4

REF: 8352/46

VERSION: 4

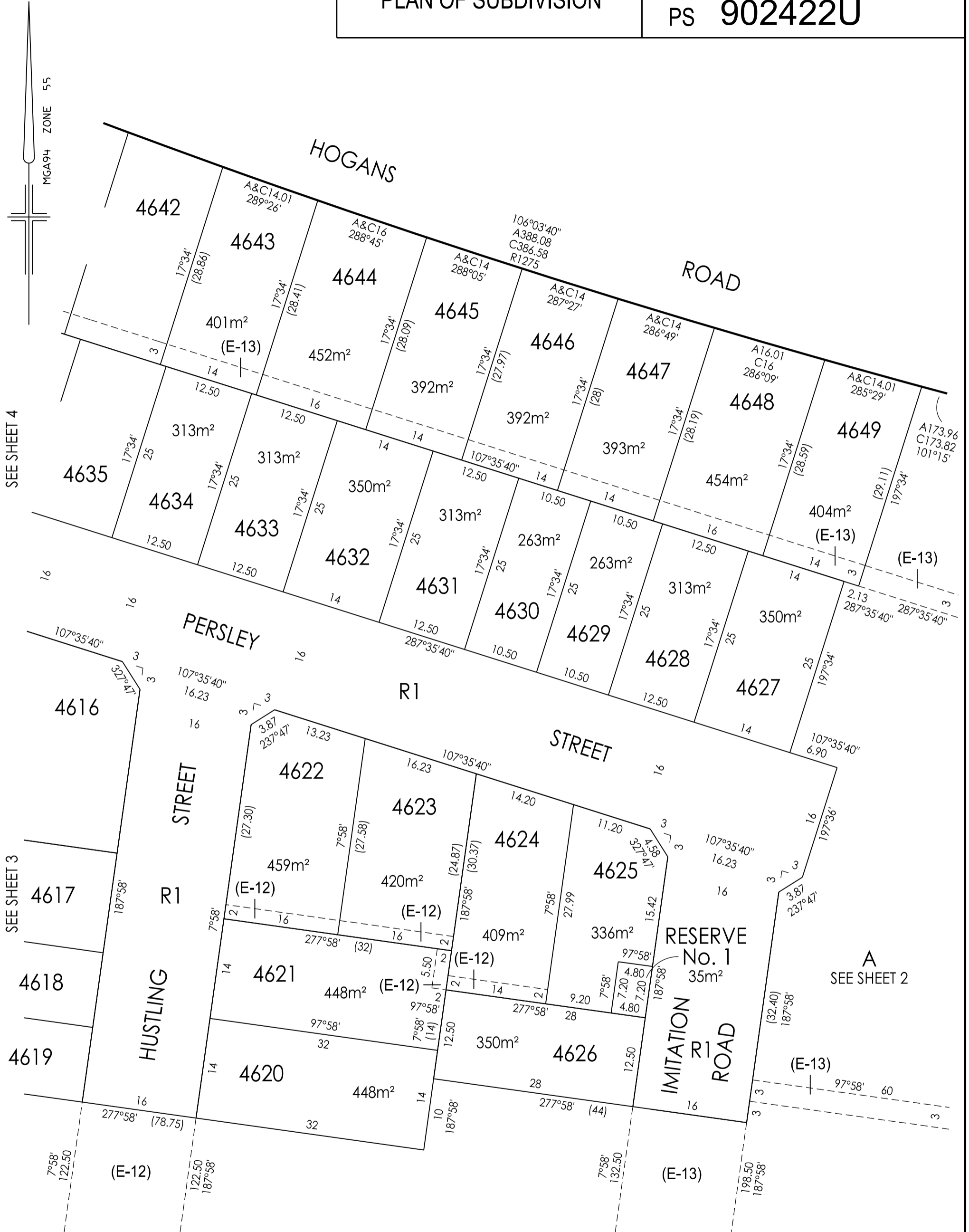


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1/19 Cato Street  
Hawthorn East Vic 3123  
Ph: 8823 2300 Fax: 8823 2310  
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LICENSED SURVEYOR: SIMON COX

PLAN OF SUBDIVISION

PLAN NUMBER  
PS 902422U



SEE SHEET 3

SEE SHEET 4

A  
SEE SHEET 2



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SCALE  
1:500



ORIGINAL SHEET SIZE A3  
REF: 8352/46

SHEET 5  
VERSION: 4

LICENSED SURVEYOR: SIMON COX

SUBDIVISION ACT 1988  
CREATION OF RESTRICTION

Upon registration of the plan, the following restriction is to be created.

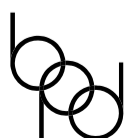
Land to benefit : Lots 4611 to 4649 (both inclusive).

Land to be burdened: Lots 4611 to 4649 (both inclusive).

Description of Restriction :

- (1) The registered proprietor or proprietors for the time being of any lot forming part of the Land to be burdened must not, without the permission of the Responsible Authority, construct or permit to be constructed;
- (a) Any building other than in accordance with MCP No. AA and;
  - (b) Any building unless the building incorporates dual plumbing for the use of recycled water for toilet flushing and garden watering where recycled water is available to the said lot and;
  - (c) In the case of lots less than 300m<sup>2</sup> any dwelling unless in accordance with the small lot housing code or unless a specific planning permit for the said dwelling has been obtained from Wyndham City Council.  
For the purpose of this restriction the following applies:  
Type A - Lots 4629 and 4630.  
Type B - NIL.
- (2) The registered proprietor or proprietors for the time being of any lot forming part of the Land to be burdened must not build or permit to be built or remain on the lot or any part of it;  
Any building on a lot unless the plans for such a building are endorsed as being in accordance with "The Grove Design & Siting Guidelines" prior to the issue of a building permit. The requirement for such endorsement shall cease to have effect on the lot after an occupancy permit under The Building Act 1993 is issued for the whole of the dwelling on the said lot.

Restriction (1) will cease to affect any of the burdened lots eight years after registration of this plan.



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SCALE

ORIGINAL  
SHEET SIZE A3

SHEET 6

REF: 8352/46

VERSION: 4

LICENSED SURVEYOR: SIMON COX