
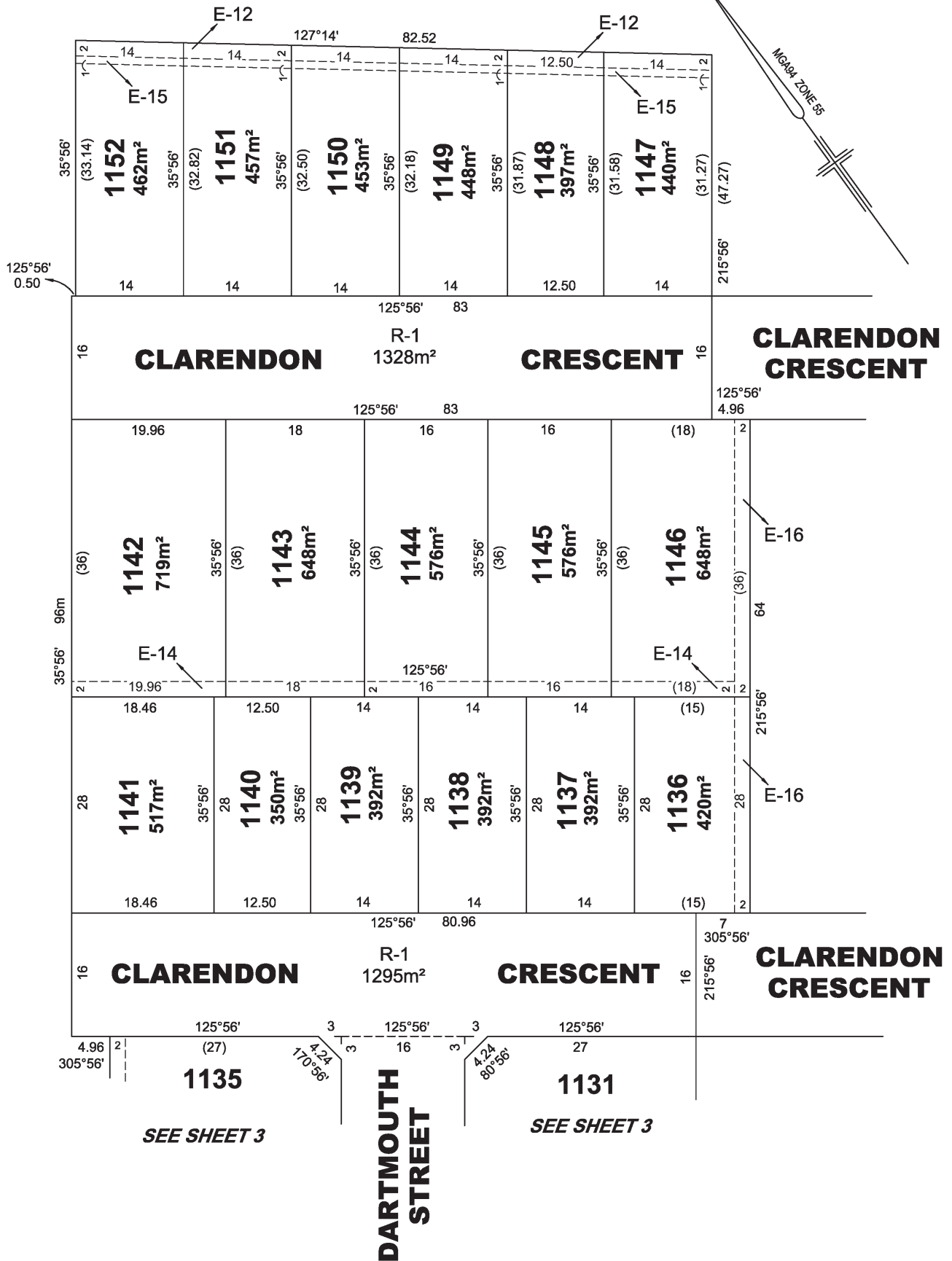


Signed by Council: Mitchell Shire Council, Council Ref: S201004/11, P303767/04, Original Certification: 06/07/2017, S.O.C.: 13/09/2017

SUBDIVISION ACT 1988				EDITION 1		PLAN NUMBER PS703942B			
PLAN OF SUBDIVISION									
LOCATION OF LAND PARISH: WALLAN WALLAN TOWNSHIP: ---- SECTION: ---- CROWN ALLOTMENT: ---- CROWN PORTION: 18(PART) & 26(PART) TITLE REFERENCES: VOL. FOL. LAST PLAN REFERENCE: PS 703941D LOT B POSTAL ADDRESS: BLUE LAKE DRIVE (at time of subdivision) WALLAN, VIC 3756 MGA CO-ORDINATES: E 322 150 ZONE: 55 (of approximate centre of land in plan) N 5 856 090 GDA 94				COUNCIL NAME : MITCHELL SHIRE COUNCIL					
VESTING OF ROADS OR RESERVES				WALLARA WATERS ESTATE - RELEASE 11 NUMBER OF LOTS IN THIS PLAN : 30 TOTAL AREA OF LAND IN THIS PLAN : 1.984 ha DEPTH LIMITATION: DOES NOT APPLY					
IDENTIFIER	COUNCIL / BODY / PERSON								
ROAD, R-1	MITCHELL SHIRE COUNCIL								
NOTATIONS									
LOTS 1-1122(BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.				OTHER PURPOSE OF THIS PLAN - REMOVAL OF EASEMENT: EASEMENT TO BE REMOVED THAT PART OF DRAINAGE EASEMENT E-9 ON PS 703943Y AS SO FAR AS IT AFFECTS STANTON STREET ON THIS PLAN. GROUND FOR REMOVAL BY AGREEMENT OF ALL INTERESTED PARTIES UPON REGISTRATION OF THIS PLAN. OTHER PURPOSE OF THIS PLAN - CREATION OF RESTRICTIONS : FOR RESTICTION DETAILS REFER TO SHEETS 5 & 6					
EASEMENT INFORMATION						THIS IS A SPEAR PLAN			
LEGEND: A - APPURTENANT EASEMENT E - ENCUMBERING EASEMENT R - ENCUMBERING EASEMENT (ROAD)						STAGING: THIS IS NOT A STAGED SUBDIVISION PLANNING PERMIT No. SURVEY: THIS PLAN IS BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s). ----- IN PROCLAIMED SURVEY AREA No. -----			
EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED /IN FAVOUR OF					
E-12	SEWERAGE	SEE DIAG.	PS 607263J	YARRA VALLEY WATER LIMITED					
E-12	DRAINAGE	SEE DIAG.	THIS PLAN	MITCHELL SHIRE COUNCIL					
E-13	DRAINAGE	SEE DIAG.	PS703941D	MITCHELL SHIRE COUNCIL					
E-14, E-15	SEWERAGE	SEE DIAG.	THIS PLAN	YARRA VALLEY WATER LIMITED					
E-15	DRAINAGE	SEE DIAG.	THIS PLAN	MITCHELL SHIRE COUNCIL					
E-16	SEWERAGE	SEE DIAG.	PS703941D	YARRA VALLEY WATER LIMITED					
REF: 20569/PS11	VERSION: N	DATE: 17/10/16	20569-11-PS-M-N.DGN			ORIGINAL SHEET SIZE A3	SHEET 1 OF 7 SHEETS		
 Reeds Consulting Pty Ltd Lvl 6, 440 Elizabeth Street Melbourne Victoria 3000 p (03) 8660 3000 www.reedsconsulting.com.au survey@reedsconsulting.com.au			LICENSED SURVEYOR ALAN DAVID NORMAN			PLAN REGISTERED TIME: 11:14 AM DATE: 4/10/17 L. White Assistant Registrar of Titles			

**PLAN NUMBER
PS703942B**

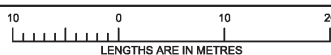


REF: 20569/PS11

VERSION: N

DATE: 17/10/16
20569-11-PS-M-N.DGN

SCALE 1:500



ORIGINAL SHEET SIZE A3

SHEET 4

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LICENSED SURVEYOR
ALAN DAVID NORMAN

**PLAN NUMBER
PS703942B**

CREATION OF RESTRICTION No.1

The following Restriction is to be created upon Registration of this plan:

For the purposes of this restriction:

- (a) "Minimum Front Boundary Setback" means, in respect of each lot, the distance between the Front Boundary and the front of the building envelope.
- (b) "Building Envelope" means the building envelope shown in Creation of Restriction No.2.
- (c) "Front Boundary" means:
 - (i) in the case of any lot where only one boundary of that lot abuts a road, the boundary which abuts the road; and
 - (ii) in the case of any lot where two boundaries of that lot each abut a road, the shorter boundary which abuts the road.
- (d) All distances are to be measured at right angles.


Land Benefit : Lots 1123 - 1152 (both inclusive) on this plan.

Land to be Burdened : Lots 1123 - 1152 (both inclusive) on this plan.

Description of Restriction: The registered proprietor or proprietors for the time being of any lot on this plan to which the following restriction applies shall not:

- (1) Construct or cause or permit to be constructed or remain erected on any burdened lot any building forward of the Minimum Front Boundary Setback.
- (2) Construct or cause or permit to be constructed on any lot on this plan:-
 - (i) any building other than one dwelling house with the usual outbuildings such dwelling house having a minimum floor area (excluding any verandah, carport or garage) of
 - 170 square metres excluding garage for allotments with an area 600 square metres or greater
 - 150 square metres excluding garage for allotments with an area between 500 and 599 square metres
 - 120 square metres excluding garage for allotments with an area of between 400 and 499 square metres
 - 100 square metres excluding garage for allotments with an area of 399 square metres or less
 - (2)(i) does not apply to any lot created upon further subdivision of Lots
 - (ii) any dwelling (including garage and carport) of which less than fifty percent (50%) of the external walls (excluding windows) is constructed of brick, brick veneer, stone, masonry or masonry veneer;
 - (iii) any outbuildings other than a garage or carport having external walls constructed of materials other than brick, stone, rendered concrete, concrete sheet, timber or coloured non-reflective metal;
 - (iv) any dwelling with roof of other than masonry or terracotta tiles or coloured non-reflective metal roofing material;
 - (v) any dwelling having external plumbing (stormwater drainage downpipes excepted) which shall be visible from an adjoining street and in the case where lots front on to parkland, must not be visible from the park.
- (3) Erect or cause or permit to be erected or to remain erected:-
 - (i) on either side boundary or the rear boundary of any burdened Lot any fence of a height more than 1.8 metres;
 - (ii) any fence on either side boundary or the rear boundary of any burdened Lot except a fence of timber palings with a timber cap, and exposed posts on both sides of the fence;
 - (iii) any fence on either side boundary of any Lot between the Front Boundary and the Minimum Front Boundary Setback;
 - (iv) any fence along the front boundary.
- (4) At any time park or store on or within any lot any vehicle having a carrying capacity of one tonne or more or any boat, caravan or trailer in such a way as to be visible from any street adjacent to or abutting that lot.
- (5) At any time keep, place or maintain any outside clothes drying or airing facility on any lots so as to be visible from any street adjacent to or abutting that lot.
- (6) (i) keep any more than two domestic birds on the lot at any one time; and
 - (ii) keep any more than two of any kind of animal or bird at any one time.

This restriction shall expire ten years after the date of registration of this plan.

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PLAN NUMBER
PS703942B

CREATION OF RESTRICTION No.2

The following Restriction is to be created upon Registration of this plan:

Table of Land Burdened and Land Benefitted:

Burdened Lot No.	Benefitted Lot No.	Burdened Lot No.	Benefitted Lot No.
1123	1124, 1125	1138	1137, 1139, 1144, 1145
1124	1123, 1125	1139	1138, 1140, 1143, 1144
1125	1123, 1124, 1126	1140	1139, 1141, 1142, 1143
1126	1125, 1127	1141	1140, 1142
1127	1126, 1128	1142	1140, 1141, 1143
1128	1127, 1129	1143	1139, 1140, 1142, 1144
1129	1128, 1130	1144	1138, 1139, 1143, 1145
1130	1129, 1131	1145	1137, 1138, 1144, 1146
1131	1130	1146	1136, 1137, 1145
1132	1133	1147	1148
1133	1132, 1134	1148	1147, 1149
1134	1133, 1135	1149	1148, 1150
1135	1134	1150	1149, 1151
1136	1137, 1146	1151	1150, 1152
1137	1136, 1138, 1145, 1146	1152	1151

Description of Restriction:

The registered proprietor or proprietors for the time being of a burdened lot to which this restriction applies shall not, unless with the consent of the Responsible Authority :

- (i) Construct any building outside the land shown hatched on the building envelope diagram other than:
 - a porch, portico or verandah no more than 3.6 metres in height and encroaching no more than 1.0 metre into the Front Setback Zone;
 - deck steps or landing no more than 500mm in height encroaching no more than 1.0 metre into the Front Setback Zone;
 - a pergola, eaves, fascia and/or gutters encroaching no more than 1.0 metre into the Front Setback Zone;
 - a balcony not more than 4.5 metres high encroaching no more than 1.0 metre into the Front Setback Zone;
 - encroachments into the nominated Side and Rear Setback Zone as provided for under Regulation 414(3) of the Building Regulations 2006 except to where a wall is on a boundary.
- (ii) Construct any garage door or doors which occupy more than 40% of the lot frontage width.
- (iii) Construct any garage closer than 5.5 metres to the street.
- (iv) Construct or allow to be constructed any more than one dwelling per lot.

This restriction shall expire ten years after the date of registration of this plan.

Building regulations apply to all matters which are not addressed in this restriction.

REF: **20569/PS11** VERSION: **N** DATE: 17/10/16
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ORIGINAL SHEET
SIZE A3

SHEET 6

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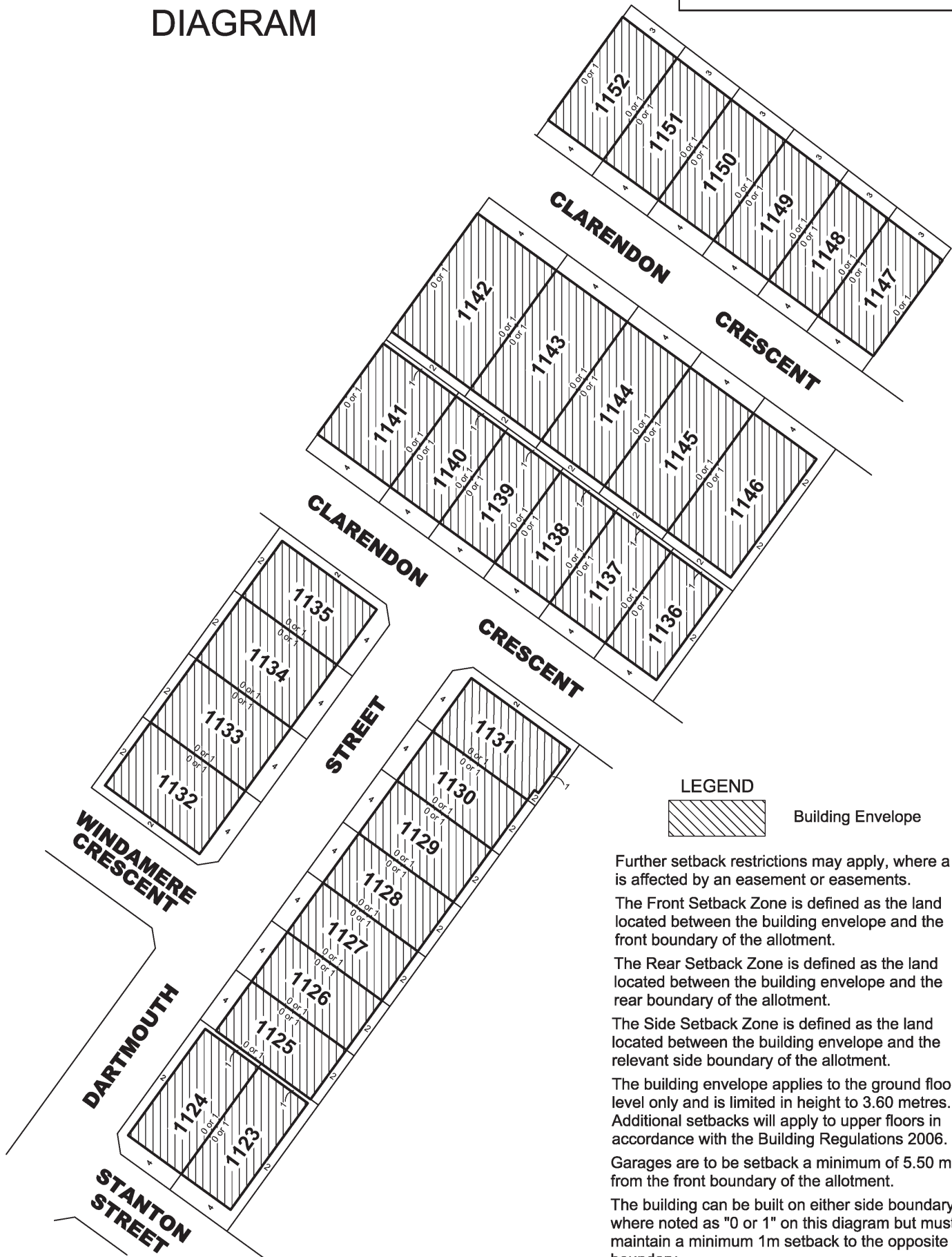
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LICENSED SURVEYOR

ALAN DAVID NORMAN

BUILDING ENVELOPE DIAGRAM

PLAN NUMBER
PS703942B



LEGEND



Building Envelope

Further setback restrictions may apply, where a lot is affected by an easement or easements.

The Front Setback Zone is defined as the land located between the building envelope and the front boundary of the allotment.


The Rear Setback Zone is defined as the land located between the building envelope and the rear boundary of the allotment.

The Side Setback Zone is defined as the land located between the building envelope and the relevant side boundary of the allotment.

The building envelope applies to the ground floor level only and is limited in height to 3.60 metres. Additional setbacks will apply to upper floors in accordance with the Building Regulations 2006.

Garages are to be setback a minimum of 5.50 metres from the front boundary of the allotment.

The building can be built on either side boundary where noted as "0 or 1" on this diagram but must maintain a minimum 1m setback to the opposite boundary.

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Plan of Subdivision PS703942B
Certification of plan by Council (Form 2)

SUBDIVISION (PROCEDURES) REGULATIONS 2011

SPEAR Reference Number: S019407P
Plan Number: PS703942B
Responsible Authority Name: Mitchell Shire Council
Responsible Authority Reference Number 1: S201004/11
Responsible Authority Reference Number 2: P303767/04
Surveyor's Plan Version: N

Certification

This plan is certified under section 6 of the Subdivision Act 1988

Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988

has been made and the requirement has been satisfied for: on this plan at Certification

Digitally signed by Council Delegate: James McNulty
Organisation: Mitchell Shire Council
Date: 06/07/2017