

Contact Officer: Luke Harris - 9411 3444
Ref: LDP20/21 / 6032131

09 October 2020

Taylor Burrell Barnett
Level 7 160 St Georges Terrace
PERTH WA 6000

**LDP - Port Coogee - Stage 3B2 - LOCAL DEVELOPMENT PLAN
9155L Medina Parade NORTH COOGEE WA 6163**

The Local Development Plan (LDP) received 17/08/2020 has been approved in accordance with Clause 52 of the Planning and Development (Local Planning Schemes) Regulations 2015. Please ensure all prospective purchasers of the lots subject to the LDP are made aware of the approval.

You are reminded that in accordance with Clause 57 of the Regulations, the approval has effect for a period of 10 years from the date of this approval.

A signed copy of the document is attached for your records. In the event you have any questions, please contact the undersigned.

Yours sincerely,



Luke Harris
SENIOR PLANNING OFFICER

Local Development Plan R-Code Variations

The City of Cockburn's relevant Planning Policies, Town Planning Scheme and the State Planning Policy 7.3 Residential Design Codes - Volume 1 (R-Codes) are varied in the following manner:

1. R-CODING

- a) Density Coding is R80 for lots 332-345.

2. SCHEME AND RESIDENTIAL DESIGN CODES VOLUME 1 VARIATIONS

- a) The requirements to consult with adjoining or other land owners to achieve a variation to the R-Codes is not required where the design complies with the following standards.

3. DESIGN ELEMENTS

- a) All dwellings (including patios, pergolas, shade covers and gazebos) shall be located within the building envelopes depicted on the LDP.
- b) Lots on this LDP are exempt from R-Code provisions determining solar access for adjoining sites.
- c) Dwellings must address the primary street by way of design, fenestration and entry, and must contain major opening(s) to a living area and/or bedroom on the primary street elevation.
- d) For lots with multiple street frontages, the dwelling must address both the primary and secondary streets (and laneway where applicable) through design, fenestration, materials, major opening(s) and/or balconies.
- e) At least one balcony greater than 10 m² is to be provided to the primary street elevation of each dwelling. Balconies provided to the secondary street on corner lots are encouraged.
- f) Balconies with an area of 10 m² or greater shall be credited toward the minimum open space requirement equal to the area of that balcony.
- g) Any exposed parapet wall on a common boundary shall be suitably finished to match the external walls of the dwelling, unless otherwise agreed with the adjoining property owner.
- h) No blank walls are permitted on boundaries of corner lots. Walls that interface with streets shall be articulated and meet all design criteria identified on the LDP.

4. DWELLING SETBACKS

Setbacks for development shall be in accordance with the following:

(except where noted, all other setbacks shall be in accordance with the R-Codes)

- a) Setback to a balcony (complying with the specified Design Elements criteria) from the primary street is a minimum of 1.0m.
- b) A nil rear setback is permitted to the dwelling from a laneway.
- c) Setback to the dwelling from the primary street is a minimum of 2.5m (subject to engineering requirements of retaining wall being met, as per retaining wall Advice Note below).
- d) A 1.0m secondary street setback to the dwelling is required to Scout Turn for corner lot 332.
- e) A 2.5m secondary street setback to the dwelling is required to Caledonia Loop for corner lot 345.
- f) Dwelling upper levels are to be setback 3.0m from the southern lot boundary beyond 18m of the front boundary (where indicated on the LDP).
- g) A nil setback is permitted for walls on the northern and southern lot side boundaries to all levels (where indicated on the LDP) for a maximum length determined by the required front setback. Refer to "Typical Setback Requirement" illustration for determining nil setback areas permitted.

5. DWELLING HEIGHT

- a) A maximum building height of 13.6m above the finished ground floor level is permitted for all lots.

6. GARAGES AND VEHICULAR ACCESS

- a) Designated garage locations on the LDP are mandatory.
- b) Laneway lots must obtain vehicle access from the laneway.
- c) A 0.5m minimum garage setback is required to the laneway.
- d) Development above garages may overhang the garage setback requirements and extend out to the laneway boundary.
- e) Carports are not permitted.

7. FENCING

- a) Where fencing is provided by the developer, no modifications are to be affected apart from maintenance and repair in materials that are substantially identical with those used in the original construction. This includes those lots with stair access.
- b) Any fencing proposed to lot boundaries where not provided by the developer, including fencing on top of a retaining wall, shall be in accordance with specifications detailed in Port Coogee Design Guidelines.
- c) Any side boundary fence proposed within the front dwelling setback (in front of the building line) shall be a maximum height of 0.5m or not greater than the height of a constructed front fence.

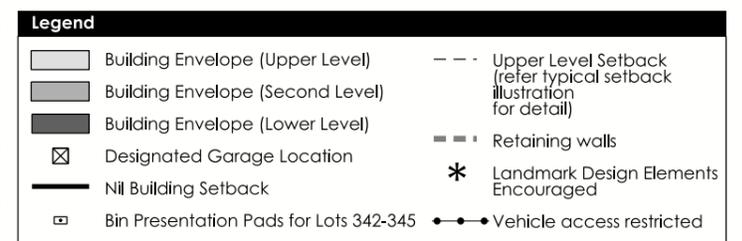
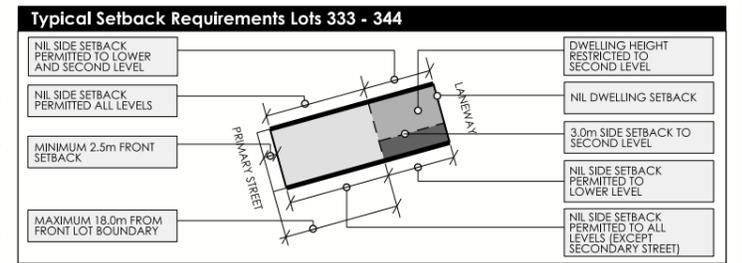
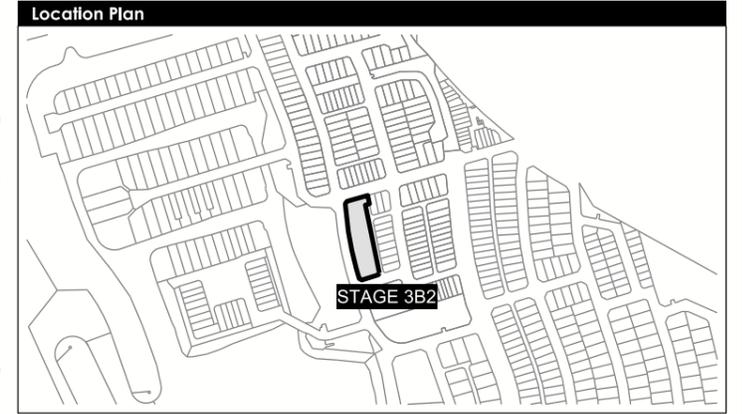
OTHER:

8. FINISHED LOT LEVELS

- a) Finished ground floor levels must be within 0.5m of the finished design surface of the lot. No brick build-up or additional fill will be permitted for dwelling construction.

9. RETAINING WALLS

- a) Where a retaining wall is provided by the developer, no modifications are to be affected apart from maintenance and repair in materials that are substantially identical with those used in the original construction. This includes those lots with stair access.
- b) Construction including load bearing walls on a nil setback must comply with engineering requirements associated with any retaining walls present.
- c) Dwellings are generally to be setback 1m from retaining walls for single storey dwellings and 1.5m for double storey dwellings. Certification for load bearing walls must be obtained from an independent practising Structural Engineer in relation to final dwelling proximity to retaining wall and submitted with the Building License application.



**CITY OF COCKBURN
LOCAL DEVELOPMENT PLAN**

APPROVED

**09 Oct 2020
File Ref: LDP20/21
Plan 1 of 1**

Endorsement Table	
This Local Development Plan has been adopted by Council and signed by the Principal Planner:	
Principal Planner	_____
Date	_____
LDP Reference	_____
OCM Date	_____

Local Development Plan - Stage 3B2
PORT COOGEE
A FRASERS PROPERTY PROJECT

Taylor Burrell Barnett

client: 90/057/382B	designed: MB	scale: 1:1000@A3 1:500@A1
date: 08/10/2020	checked: MB/KS	0 10 20m
projection: PCG74	drawn: BK	

Taylor Burrell Barnett Town Planning & Design
187 Roberts Road Subiaco, Western Australia 6008
p: (08) 9382 2911 f: (08) 9382 4586 e: admin@tbbplanning.com.au
© COPYRIGHT TAYLOR BURRELL BARNETT. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM WITHOUT THE WRITTEN PERMISSION OF TAYLOR BURRELL BARNETT. ALL AREAS AND DIMENSIONS DEPICTED ARE SUBJECT TO FINAL SURVEY.