

Detailed Area Plan R-Code Variation

The District Town Planning Scheme and R-Codes are varied in the following manner:

R-CODING

Density Coding is R40.

SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

The requirements to consult with adjoining or other land owners to achieve a variation to the R-Codes is not required where the design complies with the following standards.

DESIGN ELEMENTS

- All dwellings (including patios, pergolas, shade covers and gazebos) shall be located within the building envelopes depicted on the DAP.
- Lots on this DAP are exempt from provision 6.9.1 of the R-Codes determining overshadowing of adjoining sites.
- Dwellings must address the Primary Street by way of design, fenestration and entry, and must contain major opening(s) to a living area and/or bedroom on the Primary Street elevation.
- For lots with multiple street frontages, the dwelling must address both the Primary and Secondary Streets (and Laneway where applicable) through design, fenestration, materials, major opening(s) and/or balconies.
- At least one balcony greater than 10 m² is to be provided to the Primary Street elevation of each dwelling. Balconies provided to the secondary street on corner lots are encouraged.
- Balconies with an area of 10 m² or greater shall be credited toward the minimum open space requirement equal to the area of that balcony.
- A minimum provision of 35% open space is required.
- Any exposed parapet wall on a common boundary shall be suitably finished to match the external walls of the dwelling, unless otherwise agreed with the adjoining property owner.
- No blank walls are permitted on boundaries of corner lots. Walls that interface with streets shall be articulated and meet all design criteria identified on the DAP.

DWELLING SETBACKS

Setbacks for development shall be in accordance with the following: (except where noted, all other setbacks shall be in accordance with the R-Codes).

- Setback to the dwelling from the primary street is a minimum of 2.5m (subject to engineering requirements of retaining wall being met, as per retaining wall Advice Note below). A maximum dwelling setback of 4.0m applies to Lots 553-562.
- Setback to the dwelling from the secondary street is a minimum of 1.0m.
- A nil rear setback is permitted to the dwelling from a laneway.
- A nil side setback is permitted to the dwelling from a laneway on Lot 564 subject to compliance with the Design Element requirements of this DAP and engineering requirements associated with retaining walls.
- Setback to a balcony (complying with the specified Design Elements criteria) from the primary street is a minimum of 1.0m.
- Dwelling upper levels are to be setback 3.0m from the southern lot boundary beyond 18m of the front boundary (where indicated on the DAP).
- A nil setback is permitted on the northern and southern lot side boundaries (where indicated on the DAP) for a maximum length determined by the required front setback. Refer to "Typical Setback Requirement" illustration for determining nil setback areas permitted to the upper and lower levels of the dwelling.

DWELLING HEIGHT

- A maximum building height of 10.0m above the finished ground floor level is permitted.

GARAGES AND VEHICULAR ACCESS

- Laneway lots must obtain vehicle access from the Laneway.
- A 0.5m minimum garage setback is required to the Laneway.
- Development above garages may overhang the garage setback requirements and extend out to the Laneway boundary.
- Carpools are not permitted.

FENCING

- Any fencing proposed to lot boundaries shall be in accordance with specifications detailed in the Port Coogee Design Guidelines – Appendix C.

ADVICE NOTE

FINISHED LOT LEVELS

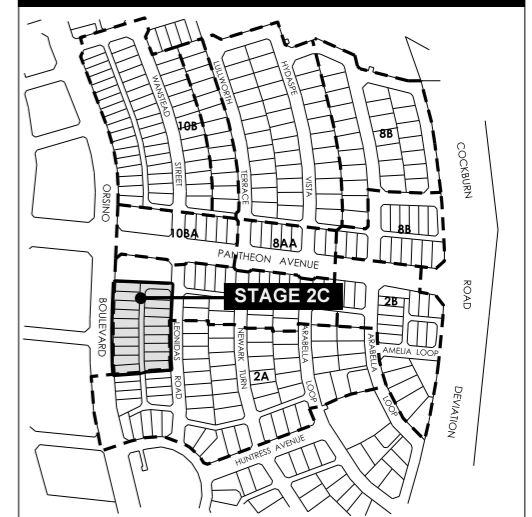
- Finished ground floor levels must be within 0.5m of the finished design surface of the lot. No brick build-up or additional fill will be permitted for dwelling construction.

RETAINING WALLS

- Construction including load bearing walls on a nil setback must comply with engineering requirements associated with any retaining walls present.
- Dwellings are generally to be setback 1m from retaining walls for single storey dwellings and 1.5m for double storey dwellings. Certification for load bearing walls must be obtained from an independent practising Structural Engineer in relation to final dwelling proximity to retaining wall.



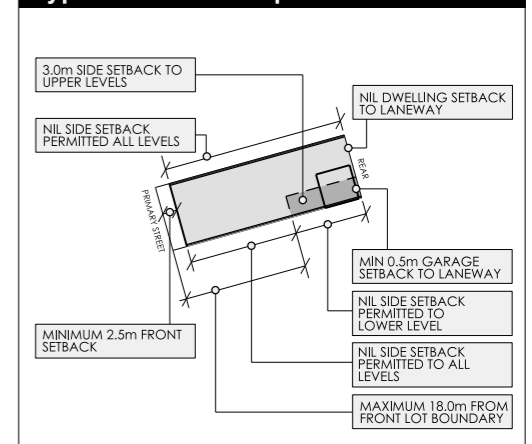
Location Plan



Legend

- Building Envelope (Upper Levels)
- Building Envelope (Lower Level)
- Preferred Garage Location
- 3.0m Minimum Setback for Upper Levels
- Nil Building Setback
- Retaining walls
- Vehicle Access Restricted

Typical Setback Requirements



Endorsement Table

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner:

Principal Planner _____

Date _____

Detailed Area Plan - Stage 2C, Laneway Lots (R40)

PORT COOGEE

AN AUSTRALAND PROJECT

date:
9/05/194
date:
17/12/2010
projection:
PCG 94

designed:
MB
checked:
WHB
drawn:
TB

scale:
1:1000@A3
0 10 20



Taylor Burrell Barnett Town Planning & Design
187 Roberts Road Subiaco Western Australia 6008
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ALL AREAS AND DIMENSIONS DISPLAYED ARE SUBJECT TO DETAIL SURVEY.

Detailed Area Plan R-Code Variation

The District Town Planning Scheme and R-Codes are varied in the following manner:

R-CODING

Density Coding is R30.

SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

The requirements to consult with adjoining or other land owners to achieve a variation to the R-Codes is not required where the design complies with the following standards.

DESIGN ELEMENTS

- All dwellings (including patios, pergolas, shadecovers and gazebos) must be located within the building envelopes depicted on the DAP.
- Dwellings must address the Primary Street by way of design, fenestration and entry, and must contain major opening(s) to a living area and/or bedroom on the Primary Street elevation.
- For lots with multiple street frontages, the dwelling must address both the Primary and Secondary Streets (and Laneway where applicable) through design, fenestration, materials, major opening(s) and/or balconies.
- At least one balcony greater than 10m² is to be provided to the Primary Street elevation of each dwelling.
- Balconies with an area of 10m² or greater shall be credited toward the minimum open space requirement equal to the area of that balcony.
- Any exposed parapet wall on a common boundary shall be suitably finished to match the external walls of the dwelling, unless otherwise agreed with the adjoining property owner.
- The minimum open space requirement is 40%.

DWELLING SETBACKS

Setbacks for development shall be in accordance with the following: (except where noted, all other setbacks shall be in accordance with the R-Codes).

- Setback to the dwelling from the primary street is a minimum of 3m.
- Setback to the dwelling from a secondary street is a minimum of 1m.
- Setback to the dwelling from a laneway is a minimum of 1m at the lower level (ground). A nil rear setback is permitted to the dwelling upper levels, subject to retaining wall engineering requirements.
- Setback to a balcony (complying with the specified Design Elements criteria) from the primary street is a minimum of 2m.

DWELLING HEIGHT

- A maximum building height of 10m above the finished ground floor level is permitted.

GARAGES AND VEHICULAR ACCESS

- Designated garage locations on the DAP are mandatory.
- Laneway Lots must obtain vehicle access from the Laneway.
- A 0.5m minimum garage setback is required from the Laneway.
- Development above the garage may overhang the garage setback requirements and extend out to the Laneway boundary.
- Carports are not permitted.

FENCING

- Any fencing proposed to lot boundaries shall be in accordance with specifications detailed in the Port Coogee Design Guidelines - Appendix C.

ADVICE NOTE

FINISHED LOT LEVELS

- Finished ground floor levels must be within 0.5m of the finished design surface of the lot, no brick build-up or additional fill will be permitted for dwelling construction.

RETAINING WALLS

- Construction including load bearing walls on a nil setback must comply with engineering requirements associated with any retaining walls present.
- Dwellings are generally to be setback 1.0m from retaining walls for single storey dwellings and 1.5m to double storey dwellings. Certification for load bearing walls must be obtained from an independent practising Structural Engineer in relation to final dwelling proximity to retaining wall.



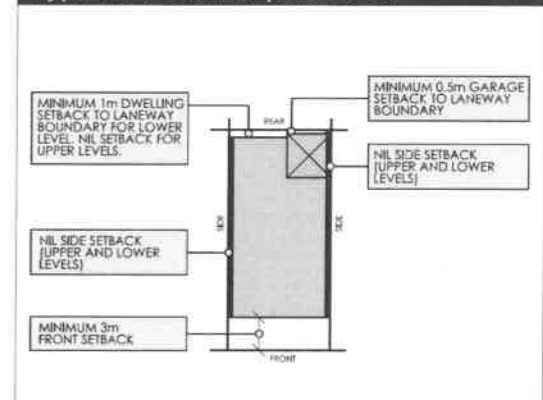
Location Plan



Legend

- Building Envelope (All Levels)
- Designated Garage Location
- Nil Building Setback
- Retaining walls

Typical Setback Requirements



Endorsement Table

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner:

Principal Planner

[Signature]

Date

9.12.2010

Detailed Area Plan - Stages 10BA & 2C Laneway Lots (R30)

PORT COOGEE

AN AUSTRALAND PROJECT

Taylor Burrell Barnett

90/057/180A MB
13/09/2010 SD
R.C.G.94 NM

Scale: 1:1000@A3
0 10 20

Taylor Burrell Barnett Town Planning & Design
187 Roberts Road Subiaco Western Australia 6008
P: (08) 9382 2911 F: (08) 9382 4586 E: admin@tbbplanning.com.au

Detailed Area Plan R-Code Variation

The District Town Planning Scheme and R-Codes are varied in the following manner:

R-CODING

Density Coding is R80.

SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

The requirements to consult with adjoining or other land owners to achieve a variation to the R Codes is not required where the design complies with the following standards.

DESIGN ELEMENTS

- All dwellings (including patios, pergolas, shade covers and gazebos) shall be located within the building envelopes depicted on the DAP.
- Lots on this DAP are exempt from provision 6.9.1 of the R-Codes determining overshadowing of adjoining sites.
- Dwellings must address the Primary Street by way of design, fenestration and entry, and must contain major opening(s) to a living area and/or bedroom on the Primary Street elevation.
- For lots with multiple street frontages, the dwelling must address both the Primary and Secondary Streets (and Laneway where applicable) through design, fenestration, materials, major opening(s) and/or balconies.
- Specifically, Lots 756 and 761, due to their landmark status, shall address both Orsino Boulevard and Pantheon Avenue with an effective Primary Street elevation to both streets.
- At least one balcony greater than 10m² is to be provided to the Primary Street elevation of each dwelling. Balconies provided to the Secondary Street on corner lots are encouraged.
- Balconies with an area of 10m² or greater shall be credited toward the minimum open space requirement equal to the area of that balcony.
- A minimum provision of 35% open space is required.
- Any exposed parapet wall on a common boundary shall be suitably finished to match the external walls of the dwelling, unless otherwise agreed with the adjoining property owner.
- No blank walls are permitted on boundaries of corner lots.

DWELLING SETBACKS

Setbacks for development shall be in accordance with the following (except where noted, all other setbacks shall be in accordance with the R-Codes):

- Setback to the dwelling from the primary street is a minimum of 2.5m (subject to engineering requirements of retaining walls being met, as per retaining wall Advice Note below). A maximum dwelling setback of 4.0m applies to Lots 398, 760, 761, 756, 755 and 563.
- Setback to the dwelling from the secondary street is a minimum of 1.0m.
- A nil rear setback is permitted to the dwelling from a laneway.
- A nil boundary setback is permitted to the dwelling from a laneway on Lots 761, 762, 756 and 757 subject to complying with the Design Element requirements of this DAP and engineering requirements associated with retaining walls.
- Setback to a balcony (complying with the specified Design Elements criteria) from the primary street is a minimum of 1.0m.

Lots 398, 760, 755 and 563 Orsino Boulevard

- Dwelling upper levels are to be setback 3.0m from the southern side lot boundary, beyond 18m of the front boundary (where indicated on the DAP).
- A nil setback is permitted for walls on the northern and southern lot boundaries (where indicated on the DAP) for a maximum length determined by the required front setback. Refer to "Typical Setback Requirement" illustration for determining nil setback areas permitted to the upper and lower levels of the dwelling.

DWELLING HEIGHT

- A maximum building height of 13.6m above the finished ground floor level is permitted.

GARAGES AND VEHICULAR ACCESS

- Designated garage locations on the DAP are mandatory.
- Laneway lots must obtain vehicle access from the laneway.
- A 0.5m minimum garage setback is required to the laneway.
- Development above garages may overhang the garage setback requirements and extend out to the laneway boundary.
- Carports are not permitted.

FENCING

- Any fencing proposed to lot boundaries shall be in accordance with specifications detailed in Port Coogee Design Guidelines - Appendix C.

ADVICE NOTE

FINISHED LOT LEVELS

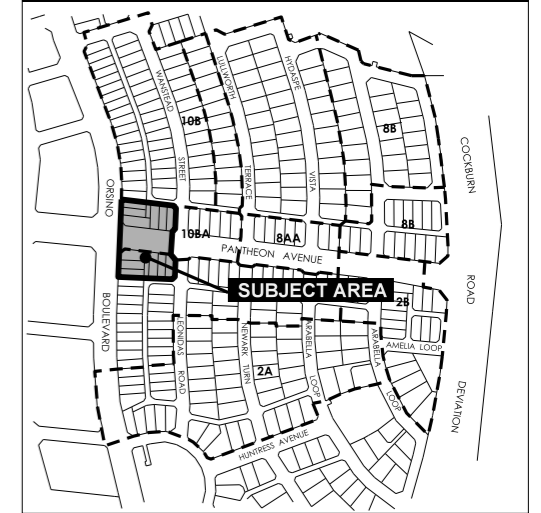
- Finished ground floor levels must be within 0.5m of the finished design surface of the lot. No brick build-up or additional fill will be permitted for dwelling construction.

RETAINING WALLS

- Construction including load bearing walls on a nil setback must comply with engineering requirements associated with any retaining walls present.
- Dwellings are generally to be setback 1.0m from retaining walls for single storey dwellings and 1.5m for double storey dwellings. Certification for load bearing walls must be obtained from an independent practising Structural Engineer in relation to final dwelling proximity to retaining wall.



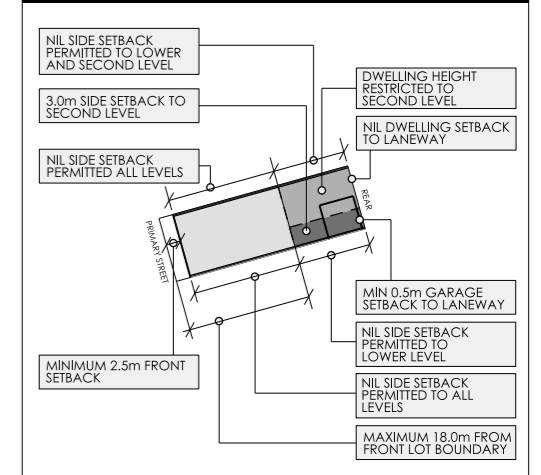
Location Plan



Legend

- Building Envelope (Upper Levels)
- Building Envelope (Second Level)
- Building Envelope (Lower Level)
- Designated Garage Location
- Preferred Garage Location
- 3.0m Minimum Setback for Upper Levels
- Nil Building Setback
- Retaining walls
- Vehicle Access Restricted
- Indicative Stair Access Locations
- Bin Pad

Typical Setback Requirements Lots 398, 760, 755 and 563



Endorsement Table

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner:

Principal Planner _____

Date _____

Detailed Area Plan - Stages 2C and 10BA, Laneway Lots (R80)

PORT COOGEE
AN AUSTRALAND PROJECT

w.d.p.c. ref:	143099
lodged:	00/00/0000
conditional approval:	00/00/0000
approved:	00/00/0000
submitted to council:	00/00/0000
revised lodged:	00/00/0000
revised approval:	00/00/0000

date:	28/03/2011	checked:	WNB
drawn:	WNB	checked:	WNB
project:	PCG 94	checked:	WNB

scale:	1:1000@A3	
0	10	20m

Taylor Burrell Barnett Town Planning & Design
187 Roberts Road, Subiaco, Western Australia 6008
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Detailed Area Plan R-Code Variation

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R-CODING

Density Coding is R30

SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

The requirements to consult with adjoining or other land owners to achieve a variation to the R Codes is not required where the design complies with the following standards.

DESIGN ELEMENTS

- All dwellings (including patios, pergolas, shadecovers and gazebos) must be located within the building envelopes depicted on the DAP.
- Dwellings must address the Primary Street by way of design, fenestration, entry and must contain major opening(s) to a living area and/or bedroom.
- For lots with multiple street frontage, the dwelling must address the Primary Street, Secondary Street and truncation(s) (and/or Laneway where applicable) through design, fenestration, materials, major opening(s) and/or balconies to provide surveillance and presence to the street.
- For all lots, the dwelling is to front Pantheon Avenue with dwelling vehicular access from the rear laneway.
- At least one balcony greater than 10 m² is to be provided to the Primary Street elevation of each dwelling.
- Balconies with an area of 10 m² or greater may be included as part of the minimum open space requirement equal to the area of that balcony.
- Any exposed parapet wall on a common boundary shall be suitably finished to match the external walls of the dwelling, unless otherwise agreed with the adjoining property owner.
- The minimum open space requirement is 40%.

DWELLING SETBACKS

- Setbacks for development shall be in accordance with the following: (except where noted, all other setbacks shall be in accordance with the R-Codes)
- Setback to the dwelling from the primary street is a minimum of 3m.
- Setback to the dwelling from a secondary street is a minimum of 1m.
- Setback to the dwelling from a laneway is a minimum of 1m for the lower level. A nil rear setback will be permitted to the dwelling upper level, subject to retaining wall engineering requirements.
- A balcony (complying with the specified Design Elements criteria) is permitted to project a maximum of 1m into the primary street minimum setback.

DWELLING HEIGHT

- A maximum building height of 2 storeys (+loft) with top of roof pitch at 10m above the finished ground floor level is permitted. Ground level is the first storey.

GARAGES AND VEHICULAR ACCESS

- Designated garage locations (where indicated on the DAP) are mandatory.
- Laneway Lots must obtain vehicle access from the Laneway.
- A 0.5m minimum garage setback is required from the laneway boundary.
- Development above the garage may overhang the garage setback requirements and extend out to the laneway boundary.
- Garage openings shall be limited to total maximum of 6m width.
- Carports are not permitted.

FENCING

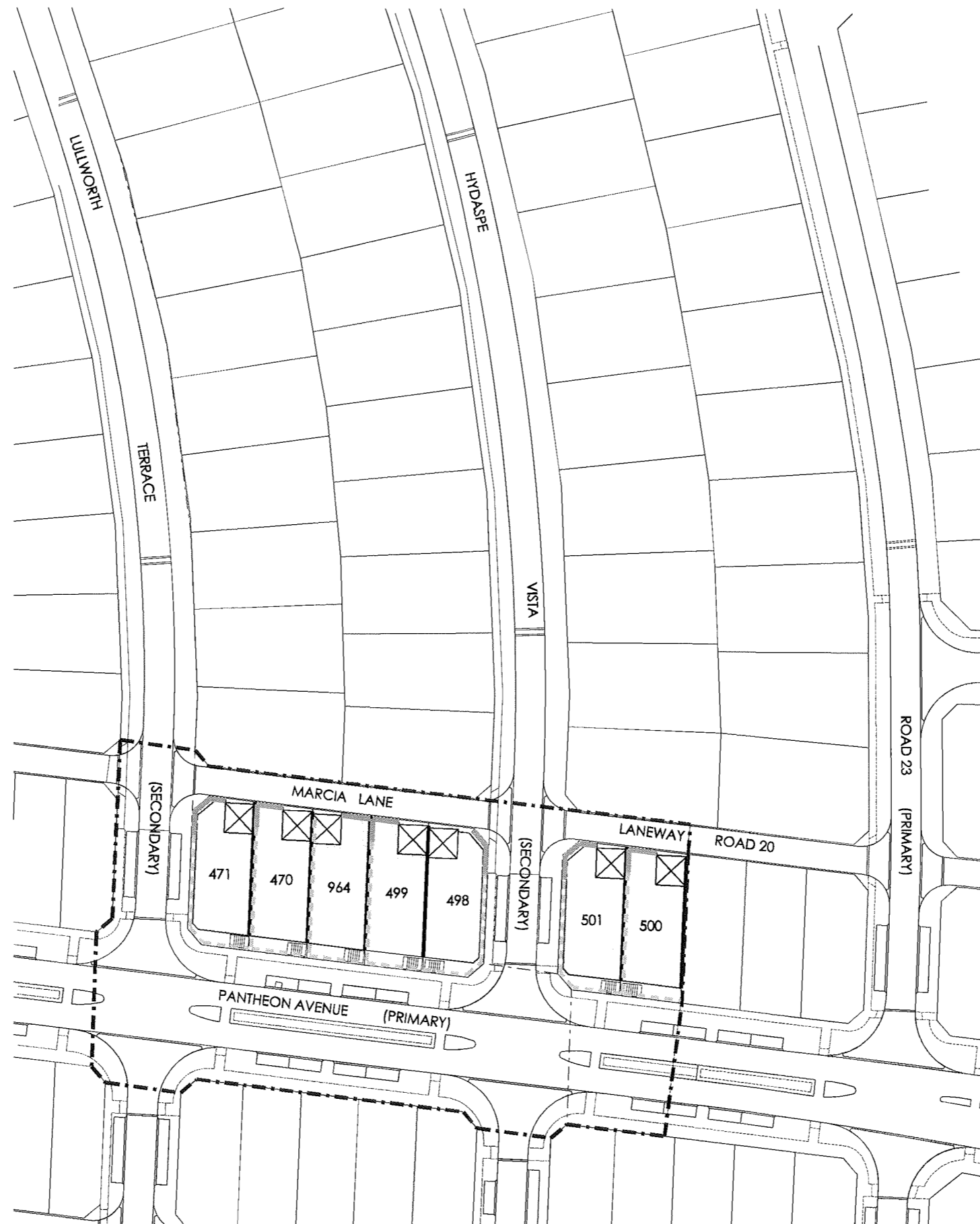
- Any fencing proposed to lot boundaries shall be in accordance with specifications detailed in Port Coogee Guidelines – Appendix C.

FINISHED LOT LEVELS

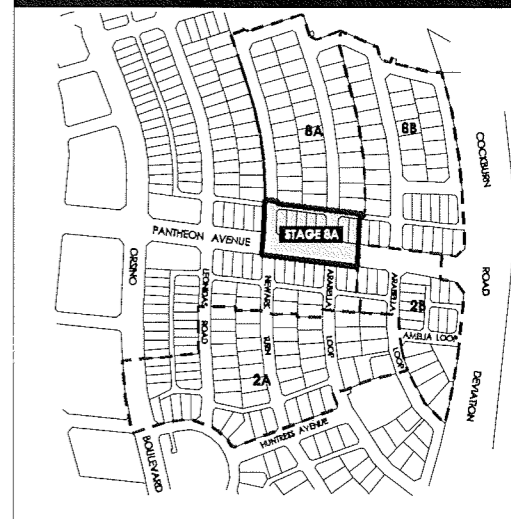
- Finished ground floor levels must be within 0.5m of the finished design surface of the lot, no brick build-up or additional fill will be permitted for dwelling construction.

RETAINING WALLS

- Construction including load bearing walls on a nil setback must comply with engineering requirements associated with any retaining walls present.
- Dwellings are generally to be setback 1.0m from retaining walls for single storey dwellings and 1.5m to double storey dwellings. Certification for load bearing walls must be obtained from an independent practising Structural Engineer in relation to final dwelling proximity to retaining wall.



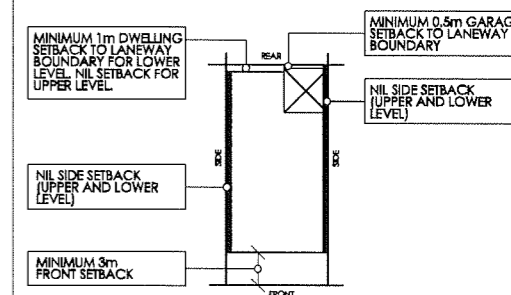
Location Plan



Legend

- EXTENT OF DETAILED AREA PLAN
- Building Envelope (Upper Level)
- ⊗ Designated Garage Location
- Nil Building Setback
- Retaining walls
- Proposed Feature Wall
- ⊞ Stair Access Locations

Typical Setback Requirements



Endorsement Table

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner:

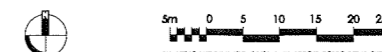
Principal Planner: *AE* (12-2-09)
Date: 5-3-2009

PROJECT

Detailed Area Plan - Stage 8A Laneway Lots

PORT COOGEE

CLIENT	AUSTRALAND	DATE	21/01/2009
PLAN NUMBER	90/057/123E	SCALE	1:1000 @ A3
DESIGNED BY	MB	PROJECTION	MGA 94
CHECKED BY	WHB	DRAWN BY	TB



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