



Reference Number: LDP23/16 - 6037202

06 November 2023

Taylor Burrell Barnett  
Level 7/160 St Georges Terrace  
PERTH WA 6000

**Local Development Plan Amendment : Lots 205 - 224 and 227 - 230  
55 Orsino Boulevard NORTH COOGEE WA 6163**

The Local Development Plan (LDP) received 26/09/2023 has been approved in accordance with Clause 52 of the Planning and Development (Local Planning Schemes) Regulations 2015.

Please ensure all prospective purchasers of the lots subject to the LDP are made aware of the approval.

You are reminded that in accordance with Clause 57 of the Regulations, the approval has effect for a period of 10 years from the date of this approval.

A signed copy of the document is attached for your records. In the event you have any questions, please contact the undersigned.

Should you require further information, please contact the City's Statutory Planning Department on 9411 3444.

Sincerely,

A handwritten signature in black ink, appearing to read 'Riley Brown', is positioned below the 'Sincerely,' text.

Riley Brown  
**COORDINATOR – DEVELOPMENT SERVICES**

9 Coleville Crescent, Spearwood WA 6163, PO Box 1215, Bibra Lake DC WA 6965  
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## Local Development Plan - Site Specific Building Requirements

This Local Development Plan (LDP) replaces the Site-Specific Building Requirements of the Port Coogee Marina Village Built Form Codes (PCMVBF) to the extent identified below in relation to Site 5 for the coverage of lots 205-212 and 227-230, and Site 6 for the coverage of lots 213-224 only.

All other elements of the City of Cockburn's relevant Local Planning Scheme, Planning Policies, PCMVBF and Port Coogee Design Guidelines apply to the lots contained upon this LDP where not varied in the following manner. Refer to the R-Codes (SPP 7.3 Volume 1) for definitions only.

Where there is any inconsistency between this LDP, the PCMVBF and Port Coogee Design Guidelines, the LDP shall prevail.

### Deemed to Comply Provisions

Street Setbacks & Lot Boundary Setbacks		
Basement:	Lot 227:	2.0m minimum* required to northern side boundary, nil permitted to all other boundaries.
	Lot 205-224 and 228-230:	Nil permitted to all boundaries.
All levels (above ground):	Primary Street: Orsino Boulevard/Napoleon Parade:	2.5m minimum* / 3.5m maximum.
	Secondary Street: Lot 212 (Napoleon Parade), Lot 213 and Lot 224 (Chieftain Esplanade):	1.0m minimum* / 3.5m maximum applicable to 50% of the side building length measured from the primary street setback (for Lot 224 setback at Level 3, refer below). A 1.0m minimum* setback (no maximum) applies to the remaining 50% of the building length.
Laneway: Onyx Laneway and Octavia Laneway		Lots 205-209, 213-224 and 227-230: 1.0m mandatory* (ground level dwelling, garage and fencing); 1.0m minimum* (upper-level building).
		Lots 210-212: 2.0m mandatory* (ground level dwelling, garage and fencing); 1.0m minimum* (upper-level building).
Lot side boundaries: (other than secondary street/laneway):		Boundary walls: Nil setback permitted to all levels for a maximum length determined by the front and rear setbacks. Boundary wall refers to a wall on, or less than 600mm from any site boundary, other than a street boundary.
		Non boundary walls: Building to be setback 1.0m minimum* for level 1, 2.0m minimum* for level 2 and 3.0m minimum* for level 3.
Level 3:	Lot 224 (Chieftain Esplanade):	5.0m minimum* / 8.0m maximum default (subject to alternative setback determined by wind analysis). <i>Note: *: Averaging of all minimum setbacks identified above is not permitted.</i>
Projections:	All street boundaries:	Balconies, porches and architectural elements may be setback a minimum of 1.0m from the street boundary.
Building Height:	All lots:	A minimum two (2) storey building height applies to the lot. A 12.0m maximum building height (3 storeys maximum) above the finished design surface of the lot. Development fronting Orsino Boulevard is required to be a minimum of 10.0m high. No minimum building floor to floor level heights apply.

- Street Surveillance**
- The primary street frontage shall provide access to the major entry (front door) of the building(s).
  - At least one major opening from a habitable room of the dwelling faces all adjacent streets (primary and secondary).
- Open Space Requirements**
- For all single house and grouped dwelling development, the Open Space and Landscape 'must haves' provisions of the PCMVBF are amended by the below 'must haves':
  - At least one Outdoor Living Area (OLA) shall be provided in accordance with the following minimum requirements:

Location	Minimum Dimension	Minimum Area	Maximum permanent roof cover	Directly Accessible from a Habitable Room	Permitted Within Street/POS Setback
Ground Floor	3.0m	16m <sup>2</sup>	50%	No	Yes
Upper Levels	2.7m	16m <sup>2</sup>	100%	Yes	Yes

- Vehicular Access**
- Designated garage locations on the LDP are mandatory.
  - All lots shall achieve vehicle access from the laneway.
  - A maximum driveway crossover width of 6.0m and paving material shall correspond with the adjoining laneway material, for all lots.
  - Car parking and manoeuvring shall be provided in accordance with AS2890.1 (as amended).
- Street Walls and Fences**
- Where fencing is provided by the developer, no modifications are to occur, aside from maintenance and repair in materials that are substantially identical with those used in the original construction. This includes those lots with stair access.
  - Any fencing proposed to lot boundaries where not provided by the developer, including fencing on top of a retaining wall, shall be in accordance with specifications detailed in the applicable Port Coogee Design Guidelines.
- External Features, Utilities and Facilities**
- Plant and Machinery: The development plans shall demonstrate the following items can be accommodated now/future without being visible from the public realm: Air-conditioning condenser units; hot water system and pumps.
- Site Works**
- Finished ground floor levels must be within 0.25m of the finished design surface of the lot. No brick build-up or additional fill will be permitted for dwelling construction.
- Other**
- Notification that future development adjoining this LDP will contain land uses and activities that may generate noise in keeping with a vibrant mixed-use precinct as described within the PCMVBF.
  - All development applications and/or building permit applications will require the developer's endorsement to be provided upon lodgement with the City.

### Discretionary Considerations For Development Assessment

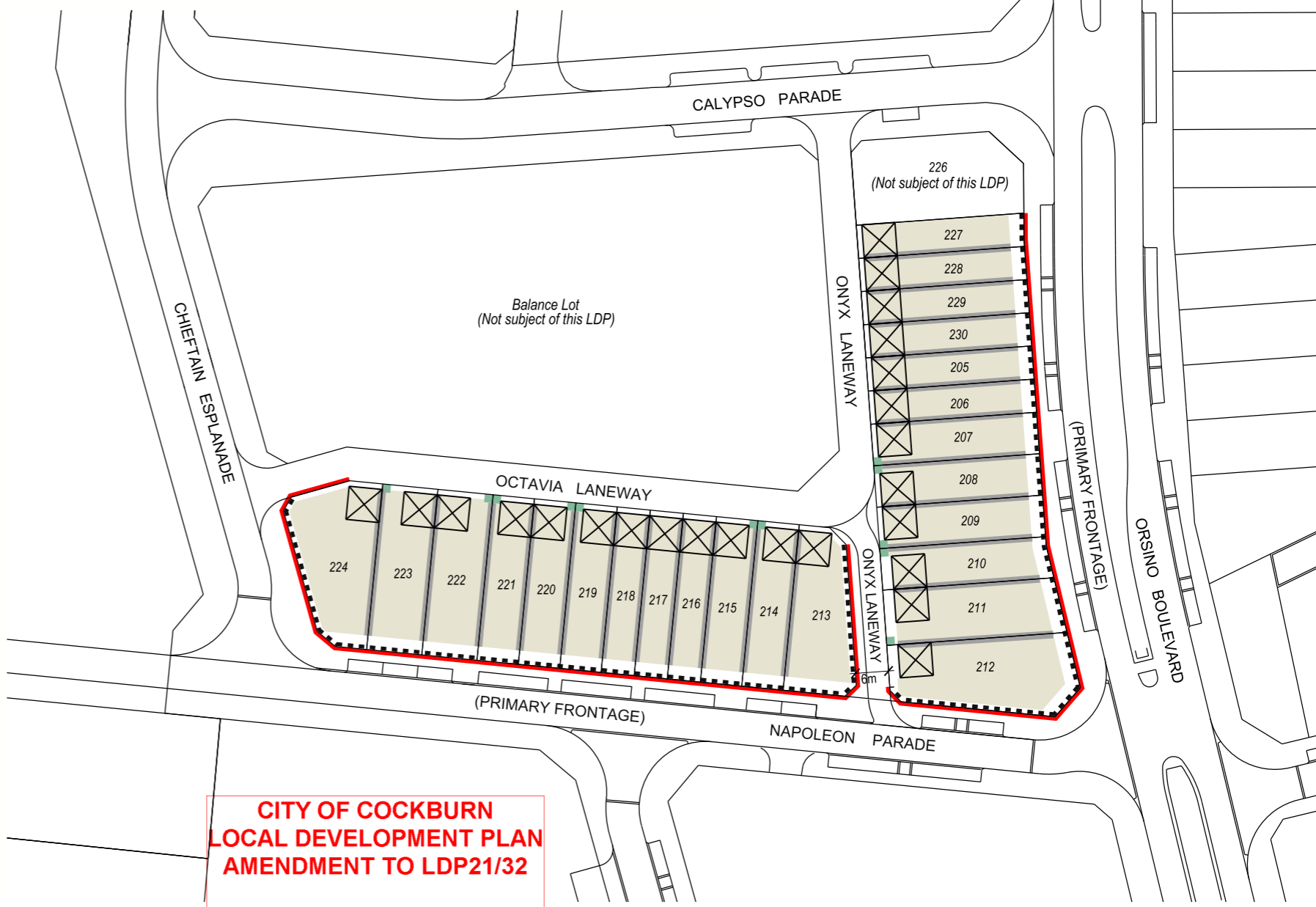
- When assessing building/development applications within this LDP, the City will have regard to the following additional design elements:
- Facade Design**
- Buildings must address all adjacent streets (primary and secondary) and laneway, through design articulation, fenestration, materials, major opening(s) and balconies. No blank walls are permitted on street boundaries.
  - At least one balcony of a minimum 10 m<sup>2</sup> is to be provided to the primary street elevation of each dwelling. Balconies provided to the secondary street on corner lots or overlooking the laneway are encouraged to achieve surveillance.
- Wind**
- No wind assessment is required for buildings that accord with the building height and setback provisions on this LDP. Where buildings vary the provisions of this LDP, a wind assessment will be required in accordance with the PCMVBF.
- Visual Privacy and Solar Access for Adjoining Sites**
- Visual privacy screening shall be provided to outdoor active habitable spaces (balcony and/or roof terrace) to restrict views within the cone of vision in accordance with the requirements of the R-Codes for the R60 density.
  - In other circumstances, the City may vary the visual privacy provisions for adjoining sites within this LDP.
  - Given the east-west orientation of Lots 205-212 and 227-230, the City will give due regard to exempting solar access as required under the R-Codes.
- External Features, Utilities and Facilities (Incidental development requirements)**
- Clothes Drying Area:** A minimum 10m<sup>2</sup> area shall be provided in a single location or the area split into multiple locations where a minimum dimension of 1.5m. Screening to the clothes drying area shall be provided in any instance where visible from the public realm.
  - Storage Area:** A minimum 4m<sup>2</sup> area shall be provided on the ground floor with a minimum dimension of 1.0m and shall not be impeded by any door or its swing. Where located external to the building/garage, the storage shall be enclosed.
  - Rubbish Bins:** For all lots, rubbish bins must be located on the driveway for their waste collection day if no adjacent verge space is available. A rubbish storage area shall be provided that is screened from view of the public realm at all times, other than collection day.
  - Parapet Walls:** Any exposed parapet wall on a common boundary must be suitably finished to match the external walls of the building, unless otherwise approved by the City.

## Location Plan



## Legend

- █ Extent of Local Development Plan
- █ No Vehicle Access Permitted
- Building Envelope - all levels permitted
- X Designated Garage Location
- Nil Building Setback
- Designated Landscape Zone / Deep Soil Area (min 1.5m x 1.5m)
- Uniform boundary fencing (Developer Provided)



**CITY OF COCKBURN  
LOCAL DEVELOPMENT PLAN  
AMENDMENT TO LDP21/32**

**APPROVED**  
**06 Nov 2023**  
**File Ref: LDP23/16**  
**Plan 1 of 3**

scale:  
1:1000@A3 | 1:500@A1

0 10 20m

plan:  
90/057/393J

date:  
17/05/2023

Taylor Burrell Barnett Town Planning & Design  
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p: (08) 9226 4276

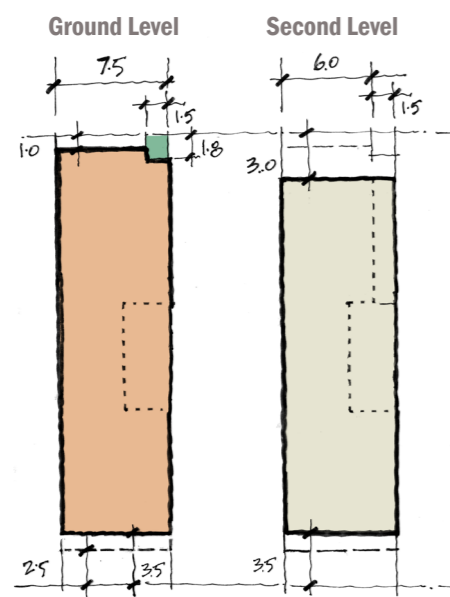


**Local Development Plan - Site Specific Building Requirements : Lots 205 - 224 and 227 - 230**  
OCTAVIA MEWS, PORT COOGEE MARINA VILLAGE

A Frasers Property Project

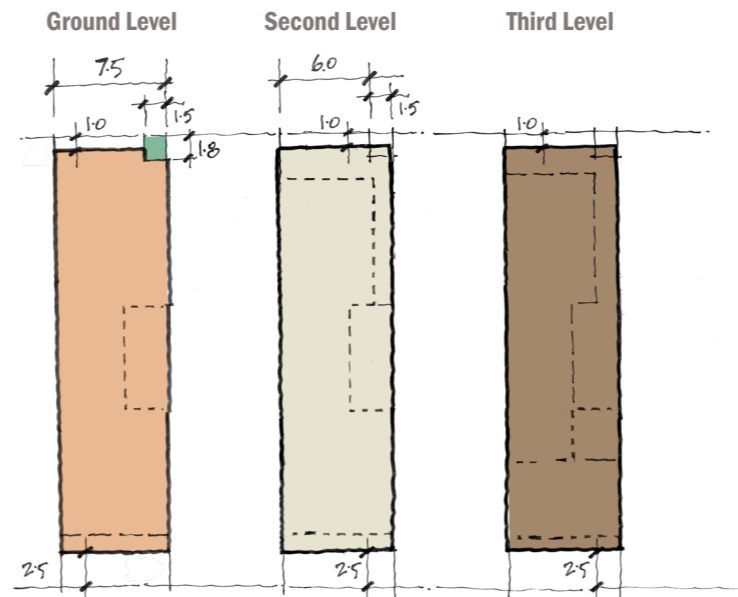
# A Building Envelope - Design Fundamentals for Typical Lot

## Minimum Building Envelope Setback Illustration



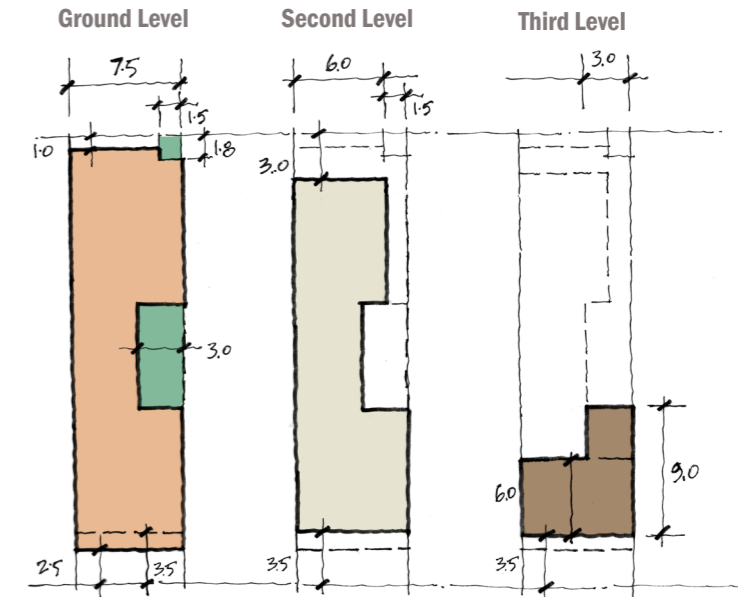
- The minimum indicative ground level building envelope is determined by the maximum Primary Street setback (3.5m) and the laneway mandatory setback (1.0m). Minimum building side setbacks of 0.0m are permitted (subject to open space and landscape requirements). A 1.5m x 1.8m landscape area is required on lots where a landscape zone is designated on the LDP.
- The minimum indicative second level building envelope is determined by the maximum Primary Street setback (3.5m) and the preferred laneway setback (3.0m). The LDP provides flexible laneway setback options for the second level above the garage (1.0m minimum / no maximum), although the preferred building response is for a 3.0m maximum second level setback to achieve desirable surveillance outcomes and upper level building framing to the laneway - see page 2 of this rationale for more detail.
- Note: A minimum one (1) storey building height is permitted to portions of the building that are not visible from the primary street, but are permitted where they are internalised on the lot. It is preferred for no single storey to present to the laneway for all lots.*

## Maximum Building Envelope Setback Illustration



- The maximum indicative building envelope for all levels of development is determined by the minimum Primary Street setback (2.5m) and the mandatory (garage) and minimum (dwelling and fencing) laneway setbacks (1.0m).
- Minimum building side setbacks of 0.0m are permitted (subject to open space and landscape requirements). A 1.5m x 1.8m landscape area is required on lots where a landscape zone is designated on the LDP.
- Note: A minimum one (1) storey building height is permitted to portions of the building that are not visible from the primary street, but are permitted where they are internalised on the lot. It is preferred for no single storey to present to the laneway for all lots.*

## Hypothetical Development Illustration - Typical Lot



- A hypothetical development illustration achieves a ground level building envelope with a minimum Primary Street setback (2.5m) and the laneway mandatory garage setback (1.0m). Minimum building side setbacks of 0.0m are adopted to enable an inner courtyard (open to the sky), along with the 1.5m x 1.8m landscape area adjacent to the laneway.
- The indicative second level building envelope achieves the maximum Primary Street setback (3.5m) and the preferred laneway setback (3.0m for 80% of building frontage). A combination of 0.0m side setbacks and upper level side setbacks from the LDP are utilised.
- An indicative third level building envelope enhances the Primary Street elevation, but is not mandatory.

**CITY OF COCKBURN  
LOCAL DEVELOPMENT PLAN  
AMENDMENT TO LDP21/32**

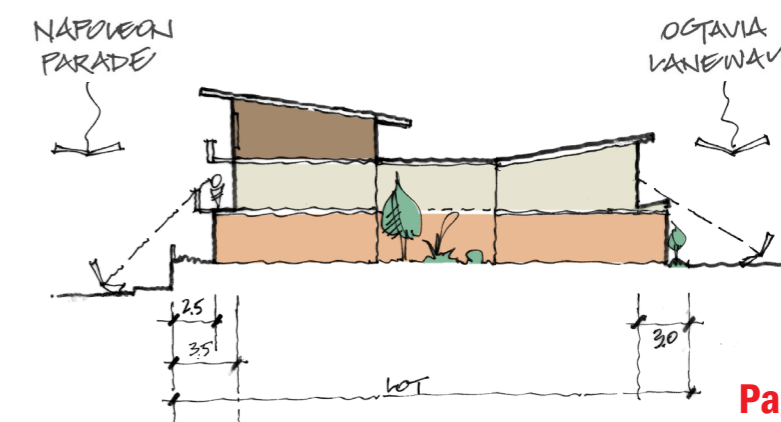
**APPROVED**

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Plan 2 of 3**

### Plan Legend

- Ground Level
- Second Level
- Third Level
- Landscape

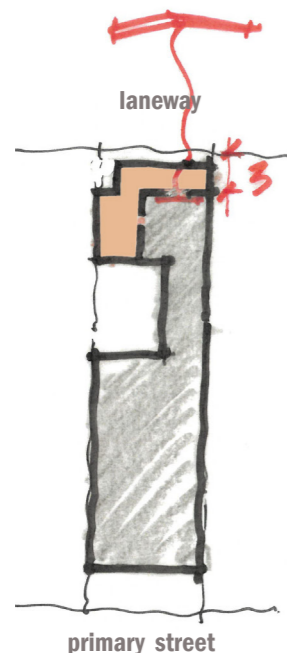
## Hypothetical Development Section - Typical Lot



## B Laneway Frontage Design Fundamentals - Setback Preferences

Within the Port Coogee Marina Village, laneways are a vital component of the public realm network where pedestrians and vehicles share these spaces.

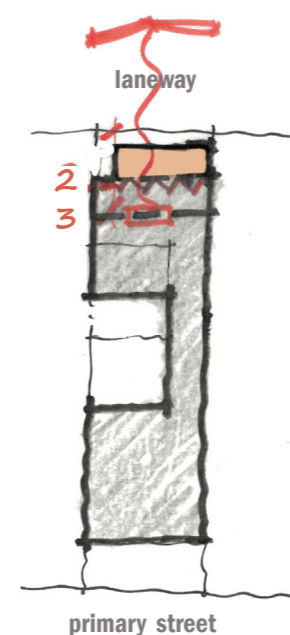
Whilst the LDP is flexible in its second and third level building setbacks from the laneway (1.0m minimum/no maximum), the preferred building design response and principles are detailed further below:



### Upper Level Setbacks - Scenario 1

Where the second storey building frontage width is not 100% of the ground floor building frontage width at the laneway elevation, then the following is preferred:

- The minimum width of the upper storey building frontage should be 60% of the ground floor building frontage at the laneway elevation.
- To achieve this reduced upper storey building frontage, the upper floor habitable room should have a maximum setback of 3.0m, and incorporate a major opening (in that portion of wall at 3.0m setback) that achieves surveillance of the laneway road surface.
- A balcony or roof terrace is preferred but not required to be provided. Where provided it should ideally have a maximum setback of 2.0m and minimum area of 6m<sup>2</sup>.



### Upper Level Setbacks - Scenario 2

Where the second storey building frontage width is 100% of the ground floor building frontage width at the laneway elevation, then the following is preferred:

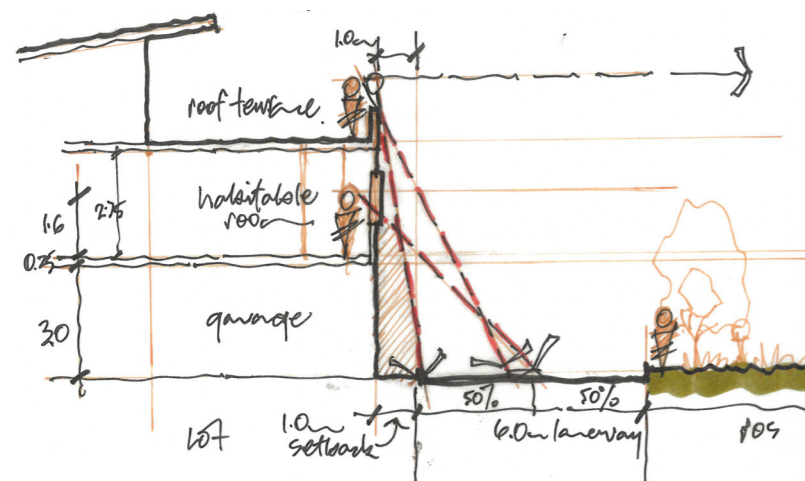
- The upper floor habitable room to ideally be setback from the laneway a maximum of 5.0m, where it incorporates a major opening that achieves surveillance of the laneway, and a balcony or roof terrace to be provided with a setback of 2.0m and minimum area of 10m<sup>2</sup>.
- Roof cover to the balcony or roof terrace is preferred to achieve year-round use.
- Boundary walls would be permitted to enclose the sides of the balcony/roof terrace in the instance where support for a roof above is required and visual privacy screening is necessary.

Plan Key:

- Buff colour represents ground floor
- Grey colour represents upper floors
- Red solid line represents major opening(s)

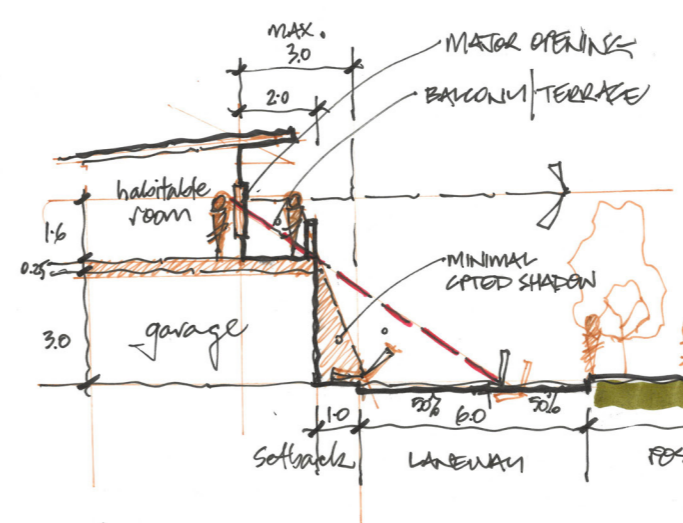
## C Laneway Frontage Design Fundamentals - Indicative Sections

Prioritise built form framing, activation and surveillance



### Hypothetical Development Response - Minimum LDP Setbacks

- Built form achieves 'Marina Village' appropriate design response of framing, massing, activation and articulation to the shared space laneway.
- Second level habitable room major opening maximises surveillance of the laneway and POS.
- Third level roof terrace enhances northerly exposed indoor/outdoor living areas and surveillance of the laneway public realm.
- This design minimises potential CPTED viewing shadow.



### Hypothetical Development Response - Preferred Scenario 1

- Built form achieves 'Marina Village' appropriate design response of framing, massing, activation and articulation to the shared space laneway.
- Second level habitable room major opening achieves surveillance of a minimum 50% width of the laneway public realm and POS.
- Desirable second level balcony enhances surveillance, indoor/outdoor liveability and activation of public realm.

**CITY OF COCKBURN  
LOCAL DEVELOPMENT PLAN  
AMENDMENT TO LDP21/32**

**APPROVED**

**06 Nov 2023  
File Ref: LDP23/16  
Plan 3 of 3**



**Local Development Plan  
Design Rationale**  
Octavia Mews - Port Coogee Marina Village