

## Detailed Area Plan R-Code Variation - single residential lots

The District Town Planning Scheme and R-Codes are varied as follows:

### R-CODING

Density Coding is R50.

### SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

The requirements to consult with adjoining or other land owners to achieve a variation to the R Codes is not required where the design complies with the following criteria.

### DESIGN ELEMENTS

- All dwellings (including patios, pergolas, shade covers and gazebos) shall be located within the building envelopes depicted on the DAP.
- Lots on this DAP are exempt from provision 3.9.1 of the R Codes determining Overshadowing of Adjoining Sites.
- Dwellings must address the Primary Street by way of design, fenestration, entry, and must contain major opening(s) to a living area and/or master bedroom.
- For lots with multiple street frontage, the dwelling must address both the Primary Street and the Secondary Street (and/or Laneway where applicable) through design, fenestration, materials and major opening(s).
- At least one balcony greater than 10 m<sup>2</sup> is to be provided to the Primary Street elevation of each dwelling. Balconies provided to the secondary street on corner lots are encouraged.
- Balconies with an area of 10 m<sup>2</sup> or greater shall be included as part of the minimum open space requirement equal to the area of that balcony.
- A minimum provision of 35% open space is required.
- Any exposed parapet wall on a common boundary shall be suitably finished to match the external walls of the dwelling, unless otherwise agreed with the adjoining property owner.
- All dwellings abutting POS shall be suitably designed and orientated to ensure passive surveillance. Dwellings shall have one or more major opening(s) to a habitable room (being a lounge or living room and not to include bedrooms) and an outdoor living area facing the Public Open Space. Balconies are encouraged.
- No blank walls are permitted on boundaries of corner lots 268, 277, 278 and 291 facing streets and/or POS. Walls that interface with streets and/or POS shall be articulated and meet all design criteria identified on the DAP.

### DWELLING SETBACKS

- Setbacks for development shall be in accordance with the following: (except where noted, all other setbacks shall be in accordance with the R-Codes)
- A balcony (complying with the specified Design Elements criteria) is permitted to project a maximum of 1.5m into the primary street minimum setback.
- A nil rear setback is permitted to the dwelling on a secondary street boundary where indicated on the DAP for lower & second levels.
- Primary street setback is a minimum of 2.5m (subject to engineering requirements of retaining wall being met, as per retaining wall setback notation below).
- A 1m setback is permitted to secondary street for corner lots 268 and 291.
- Dwelling upper levels are to be setback 3.0m from the southern lot boundary beyond 18m of the front boundary (where indicated on the DAP).
- A nil setback is permitted for walls on the northern and southern lot side boundaries (where indicated on the DAP) for a maximum length determined by the required front setback. Refer to "Typical Setback Requirement" illustration for determining lower, second and third level nil setback areas permitted.

### DWELLING HEIGHT

- A maximum building height of 3 storeys with top of roof pitch at 13.6m above the finished ground floor level is permitted. Ground level is the first storey.

### GARAGES AND VEHICULAR ACCESS

- Designated garage locations are mandatory.
- A 0.5m minimum garage setback is required to the secondary street rear boundary.
- Development above garages may overhang the garage setback requirements and extend out to the dwelling building line.
- Carpools are not permitted.

### ADVICE NOTE

#### FINISHED LOT LEVELS

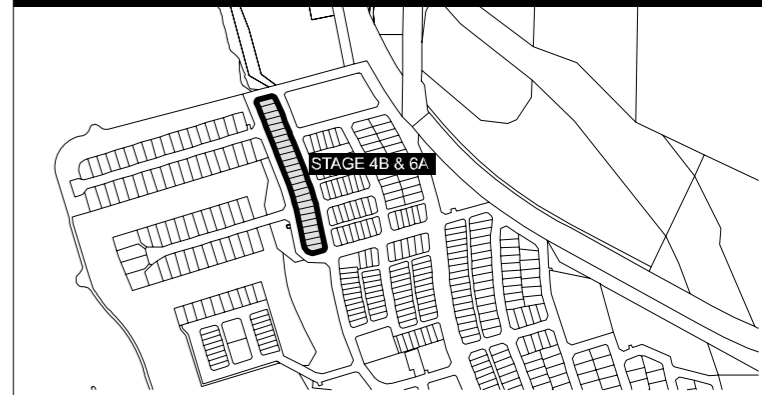
- Finished ground floor levels must be within 0.5m of the finished design surface of the lot, no brick build-up or additional fill will be permitted for dwelling construction.

#### RETAINING WALLS

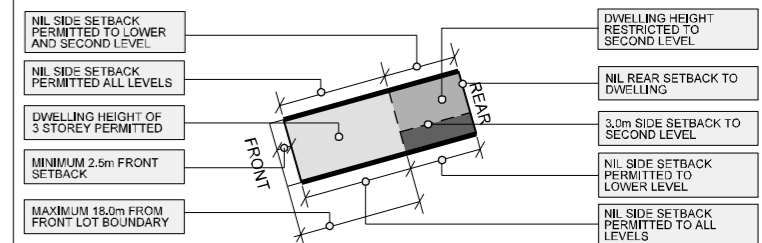
- Construction including load bearing walls on a nil setback must comply with engineering requirements associated with any retaining walls present
- Dwellings are generally to be setback 1m from retaining walls for single storey dwellings and 1.5m for double storey dwellings. Certification for load bearing walls must be obtained from an independent practising Structural Engineer in relation to final dwelling proximity to retaining wall.



### Location Plan



### Typical Setback Requirements



### Legend

- Building Envelope (Third Level)
- Building Envelope (Second Level)
- Building Envelope (Lower Level)
- Designated Garage Location
- Nil Building Setback
- Upper Level Setback (refer typical setback illustration for detail)
- Retaining walls
- Landmark Design Elements Encouraged
- Stair Access Locations

### Endorsement Table

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner:

Principal Planner: \_\_\_\_\_

Date: \_\_\_\_\_

PROJECT

## Detailed Area Plan - Portion Stage 4B and Portion Stage 6A

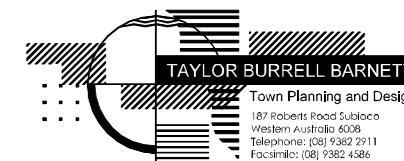
PORT COOGEE

CLIENT	DATE	
AUSTRALAND	21/08/2008	
PLAN NUMBER	SCALE	PROJECTION
90/057/133A	1:1500 @ A3	PCG 94
DESIGNED BY	CHECKED BY	DRAWN BY
ME	WHB	TB



7.5m 0 15 30m

ALL AREAS AND DIMENSIONS SHOWN ARE UNLESS OTHERWISE SPECIFIED.



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