

## Detailed Area Plan R-Code Variation

The District Town Planning Scheme and R-Codes are varied as described below:

### R-CODING

Density Coding is R25

### SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

The requirements to consult with adjoining or other land owners to achieve a variation to the R Codes is not required where the design complies with the following standards.

### DESIGN ELEMENTS

- All dwellings must be located within the building envelopes depicted on the DAP.
- Only non-habitable lightweight shadecover and gazebos structures are permitted within the rear setback (refer Dwelling Setbacks section to determine required setback). Structures shall not exceed a maximum height of 3m above finished lot level. Building materials, form and colour palette shall be complementary to the design of the dwelling.
- No sheds or storage structures are permitted in the rear setback. All storage areas shall be within the designated building envelope and incorporated into the main dwelling.
- No blank walls are permitted on boundaries of corner lots 906, 923, 940 and 948, walls that interface with POS shall be articulated and also meet the following design element criteria. Balconies are encouraged.
- Dwellings shall address the Primary Street (Chelydra Point), Public Open Space (POS) and the waterway (where applicable) by way of design, fenestration, entry and must contain major opening(s) to a living area and/or master bedroom.
- All dwellings abutting POS shall be suitably designed and orientated to ensure passive surveillance. Dwellings shall have one or more major opening(s) to a habitable room (being a lounge or living room and not to include bedrooms) and an outdoor living area facing the Public Open Space.
- Any exposed parapet wall on a common boundary shall be suitably finished to match the external walls of the dwelling, unless otherwise agreed with the adjoining property owner.
- At least one balcony greater than 10 m<sup>2</sup> is to be provided to the Primary Street elevation of each dwelling.
- A balcony with an area of 10 m<sup>2</sup> or greater may be included as part of the minimum open space requirement equal to the area of that balcony.
- A maximum site cover measuring 70% of the dry lot area is permitted.
- Element 8, section 3.8 of the R Codes applies to major openings facing side boundaries outside the rear setback area only. Rear setback areas (abutting POS and/or the waterway) are exempted from the requirements of Section 3.8.

### DWELLING SETBACKS

- Setbacks for development shall be in accordance with the following: (Except where specified below all other setbacks shall be in accordance with the R-Codes)
- The dwelling setback from the primary street shall be a minimum of 1.5m and maximum of 3m.
- A balcony (complying with the specified Design Elements criteria) is permitted to project over the dwelling/garage to within 0.5m of the front lot boundary.
- Side**
  - Dwelling upper levels shall be setback 2.0m from the western lot boundary beyond 15m of the front boundary (where indicated on the DAP).
  - A nil setback is permitted for walls on the western lot side boundary (where indicated on the DAP) for a maximum length determined by the required front and rear setbacks.
  - A nil setback is permitted for walls on the eastern lot side boundary (where indicated on the DAP) for a length of 15m from the front boundary less the required front setback.
  - A nil setback will be permitted for one side boundary only, this may be nominated from the options displayed on the DAP. No combination of nil setbacks will be permitted except for corner lots 906, 923, 940 and 948.
- Rear**
  - On lots 924 - 940 and 948 the minimum rear dwelling setback shall be 3m. Any lightweight structure (as described under Design Elements) shall be setback a minimum of 2m from the rear boundary.
  - On lots 906 - 923 the minimum rear dwelling setback shall be 4m from the dry lot boundary (as defined on the DAP). Any lightweight structure (as described under Design Elements) shall be setback a minimum of 2m from the rear dry lot boundary.

### DWELLING HEIGHT

- A maximum building height of 2 storeys (+loft) with top of roof pitch at 10m above the finished lot level is permitted, roof terraces and all lightweight structures (highest point) are permitted.
- Non-habitable levels, partially or wholly below finished lot level shall not be deemed storeys and shall be excluded from the height calculation.

### GARAGES AND VEHICULAR ACCESS

- The garage shall not dominate the front elevation of the dwelling. To comply with this requirement, the garage shall be setback a minimum of 0.5m behind the proposed dwelling setback. Consideration may be given to other means by which the requirement for garages not to dominate the front elevation can be achieved.
- Development above garages may overhang the garage front setback requirements and extend out to the dwelling setback.
- Garage openings shall be limited to total maximum width of 6m in total.
- Carports are not permitted.

### FENCING

- For lots 906-923, fence height to the dry lot boundary (as defined on the DAP) shall be a maximum of 1.2m above the rear setback lot level (RL+1.25m). The fence must be visually permeable and incorporate elements such as glass panels, battens, screens, shutters or louvres.
- For lots 906-923, the side boundary fence within the rear setback (4m) shall be a maximum height of 1.2m above the rear setback lot level (RL+1.25m).
- For lots 924-940 and 948, the side boundary fence within the rear setback (3m) shall be a maximum height no greater than the rear fence.
- For lots 924-940 and 948, fencing to the POS is provided by the developer. No modifications are to be affected apart from maintenance and repair in materials that are substantially identical with those used in the original construction.
- All other fencing to lot boundaries shall be in accordance with specifications detailed in Port Coogee Guidelines - Appendix C.

### FINISHED LOT LEVELS

- Finished ground floor levels shall be no greater than 0.5m above the finished lot level, no brick build-up or additional fill is permitted for dwelling construction.
- All habitable rooms shall have a minimum floor level of RL2.5m AHD.
- For lots 906-923, the finished lot level of RL1.25m AHD within the 4m rear building setback exclusion area shall be maintained, except for the specific purpose of access steps where earthworks shall be within 0.5m of the finished lot level (RL 1.25m AHD).
- For lots 906-923, all works proposed within the 4m rear building setback area (building exclusion zone) combined with potential pedestrian loading allowance, shall not exceed a total loading of 5kPa (0.5 Tonne/m<sup>2</sup>). As such, the total combined outcome (including, but not limited to, any proposed lightweight structure, landscaping works and pedestrian loading) within this area must be considered to enable engineering certification of final loading.
- For lots 906-923, no excavation (including for the purposes of access steps or landscaping) within the 4m rear building setback area shall be below RL0.75m AHD to preserve the geogrid soil reinforcement.
- All applications to Council are to include a site feature survey with levels shown relative to AHD.

### RETAINING WALLS

- Construction including load bearing walls on a nil setback must comply with engineering requirements associated with any retaining/feature walls present.
- Dwellings are generally to be setback 1.0m from retaining/feature walls for single storey dwellings and 1.5m to double storey dwellings. Certification for load bearing walls must be obtained from an independent practising Structural Engineer in relation to final dwelling proximity to retaining/feature wall.

### DRAINAGE

- The stormwater drainage system design requires that all stormwater shall be managed by soakage within the lot. Discharge to the waterway is not permitted.

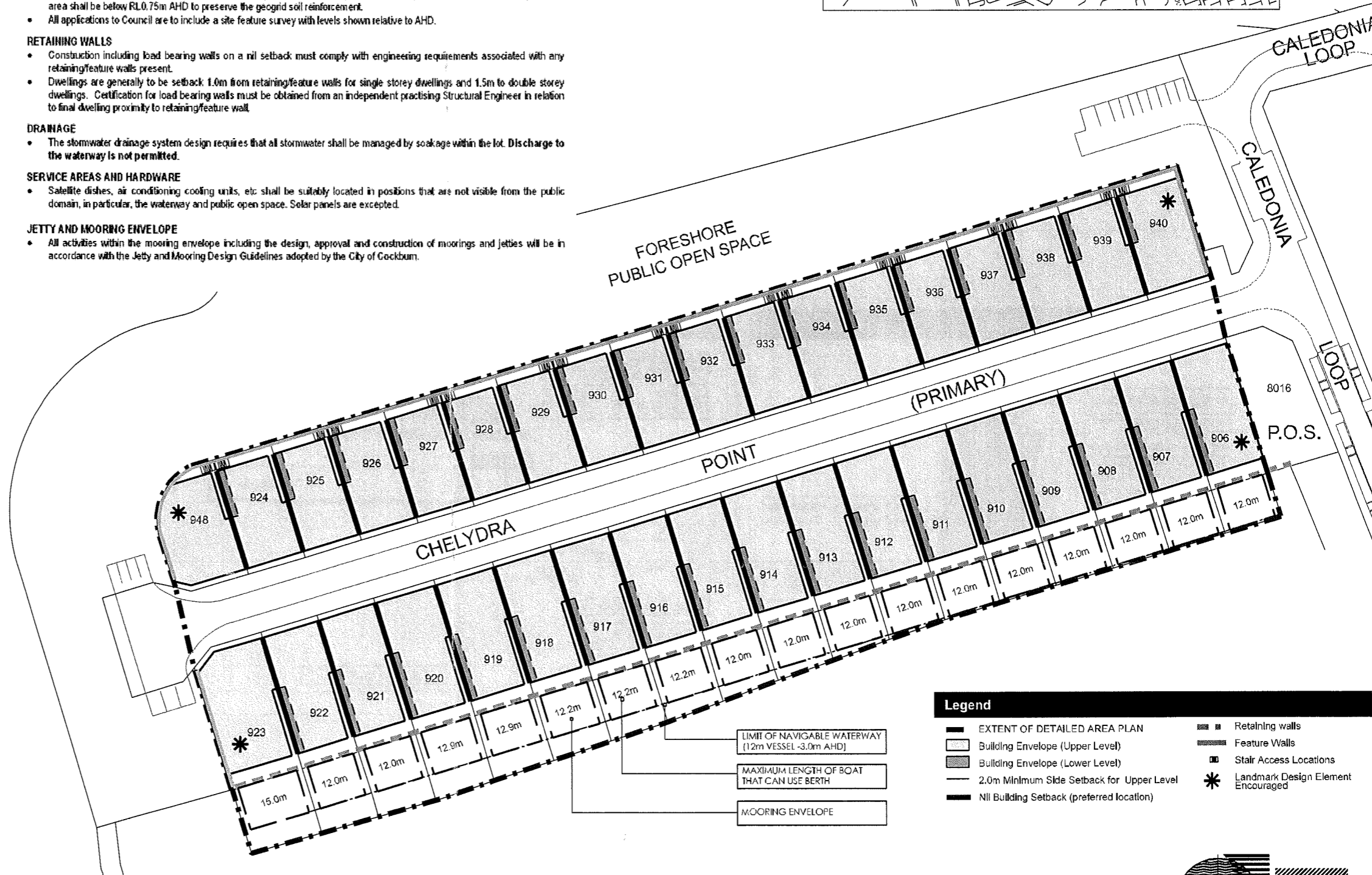
### SERVICE AREAS AND HARDWARE

- Satellite dishes, air conditioning cooling units, etc shall be suitably located in positions that are not visible from the public domain, in particular, the waterway and public open space. Solar panels are exempted.

### JETTY AND MOORING ENVELOPE

- All activities within the mooring envelope including the design, approval and construction of moorings and jetties will be in accordance with the Jetty and Mooring Design Guidelines adopted by the City of Cockburn.

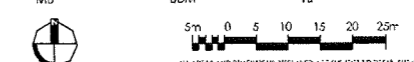
## Location Plan



### Legend

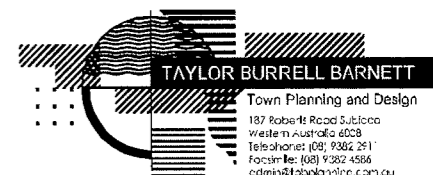
- EXTENT OF DETAILED AREA PLAN
- Building Envelope (Upper Level)
- Building Envelope (Lower Level)
- 2.0m Minimum Side Setback for Upper Level
- Nil Building Setback (preferred location)
- Retaining walls
- Feature Walls
- Stair Access Locations
- Landmark Design Element Encouraged

CLIENT	AUSTRALAND	DATE	04/06/2008
PLAN NUMBER	90/057/119H	SCALE	1:1200 @ A3
DESIGNED BY	MB	PROJECTION	MGA 94
DATE	04/06/2008	DRAWN BY	TB



# Detailed Area Plan - Peninsula Lots (Stage 4A) - Sheet 1 of 2

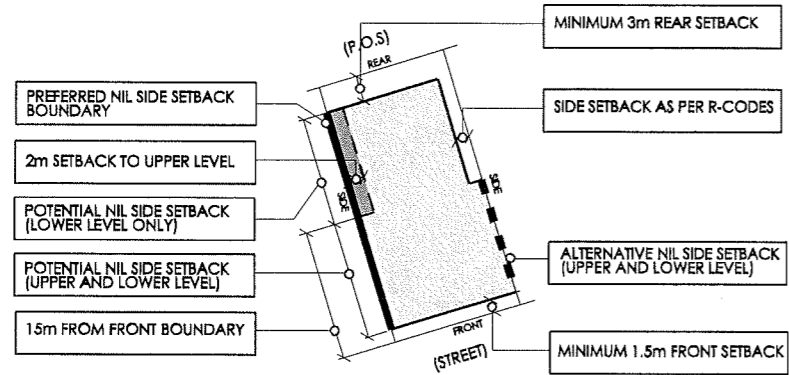
PORT COOGEE



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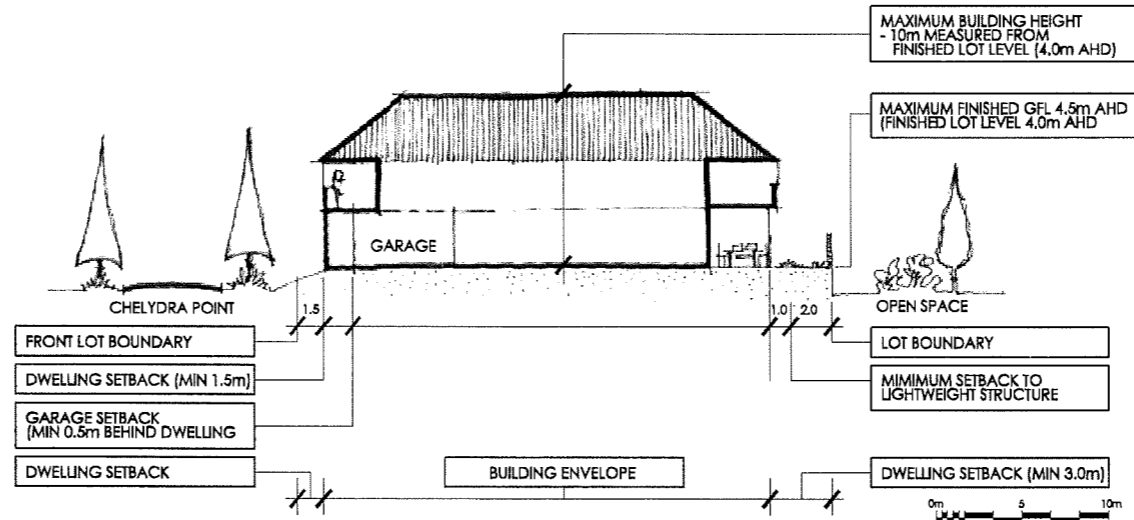
**Typical Setback Requirements Lots 924 - 940 and 948**

**'North Lots'**



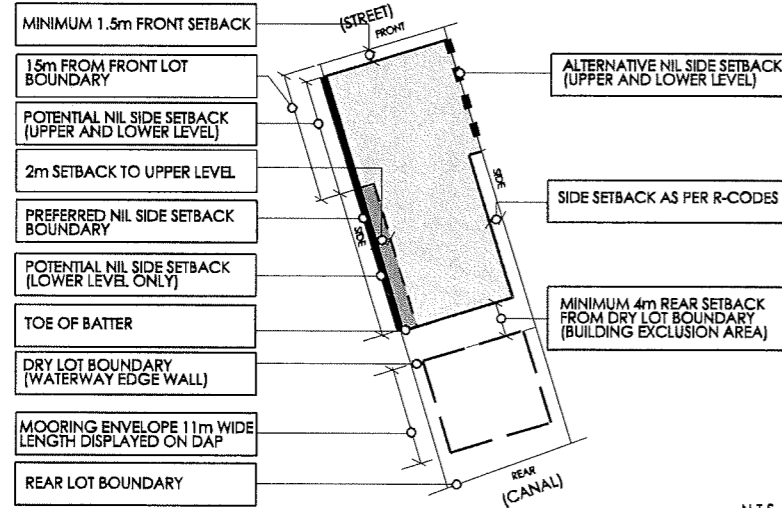
N.T.S.

**Indicative Section - POS Lot Setbacks**



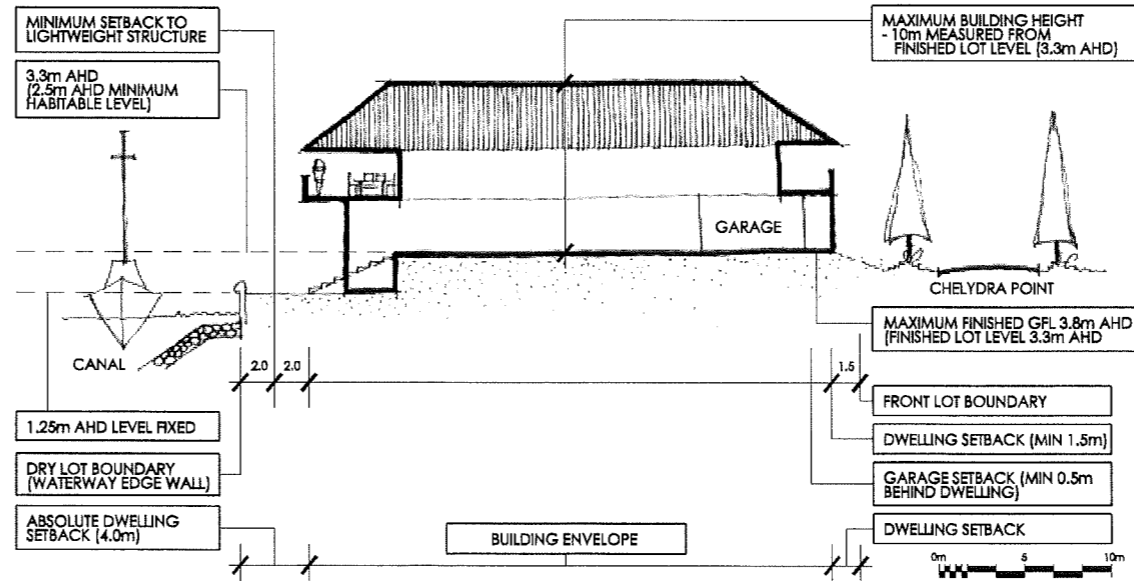
**Typical Setback Requirements Lots 906 - 923**

**'Canal Lots'**



N.T.S.

**Indicative Section - Canal Lot Setbacks**



**Endorsement Table**

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner:

Principal Planner: *[Signature]*  
Date: 30.6.2008

CLIENT	AUSTRALAND	DATE	04/06/2008
PLAN NUMBER	90/057/1185	SCALE	AS SHOWN
DESIGNED BY	AJB	PROJECTION	MGA 94
CHECKED BY	BDM	DRAWN BY	TB



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ALL AREAS AND DIMENSIONS EMPLOYED ARE SUBJECT TO DEVAL SURVEY.