

Detailed Area Plan R-Code Variation

The City of Cockburn's relevant Planning Policies, District Planning Scheme and the R-Codes are varied in the following manner:

1. R-CODING

a) Density Coding is R80.

2. SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

a) The requirement to consult with adjoining or other land owners to achieve a variation to the R-Codes is not required where the design complies with the following standards.

3. DESIGN ELEMENTS

- a) All dwellings (including patios, pergolas, shade covers and gazebos) must be located within the building envelopes depicted on the DAP.
- b) Lots on this DAP are exempt from R-Code provisions determining solar access for adjoining lots.
- c) Dwellings must address the Primary Street by way of design, fenestration and entry, and must contain major opening(s) and/or balconies.
- d) For lots with multiple street frontages, the dwelling must address both the Primary and Secondary Streets through design, fenestration, materials, major opening(s) and/or balconies. No blank facades are permitted.
- e) Balconies with an area of 10m² or greater shall be credited toward the minimum open space requirement equal to the area of the balcony.
- f) Any exposed parapet wall on a common boundary must be suitably finished to match the external walls of the building, unless otherwise agreed with the adjoining property owner.
- g) Section 5.4.1 of the R Codes applies to major openings facing side boundaries outside the rear setback area only. Rear setback areas are exempt from the requirements of Section 5.4.1.

4. BUILDING SETBACKS

Setbacks for development shall be in accordance with the following:

- a) Setback to the dwelling from the Primary Street is a minimum of 2.0m for lots 817-826 and 836-844.
- b) For lots 827-835, dwelling upper levels above 7.0m are to be set back a minimum of 6.0m from the Primary Street.
- c) A nil setback to the rear boundary is permitted for lots 836-844.
- d) For lots 827-835, dwelling upper levels above 7.0m are to be set back a minimum of 3.0m from the rear boundary.
- e) Setback to a balcony (complying with the specified Design Elements criteria) from the Street is a minimum of 1.0m.
- f) For lots 817-826 and 836-844, a nil setback is permitted to both side boundaries for all dwelling levels, to a maximum length determined by the required front and rear setbacks.
- g) For lots 827-835, dwelling upper levels above 7.0m are to be set back a minimum of 3.0m from both side boundaries.

5. DWELLING HEIGHT

- a) A maximum building height of 7.0m above the finished lot level is permitted for lots 817-826.
- b) A maximum building height of 10.0 above the finished lot level is permitted for lots 827-835.
- c) A maximum building height of 13.0m above the finished lot level is permitted for lots 836-844.

6. GARAGES AND VEHICULAR ACCESS

- a) Designated garage locations on the DAP are mandatory.
- b) The garage must be setback 0.5m behind the dwelling.
- c) Where a garage is located within 0.5m of the dwelling, a garage door facing the Primary Street may occupy up to 60 per cent of the frontage at the setback line where an upper floor or balcony extends for the full width of the garage and the entrance to the dwelling is clearly visible from the Primary Street. Consideration may be given to other means by which the requirement for the garage not to dominate the front elevation can be achieved.
- d) Development above garages may overhang the garage setback requirements.
- e) Carports are not permitted.

OTHER:

7. FINISHED LOT LEVELS

- a) For Lots 817-826, the finished ground floor levels must be within 0.15m of the finished design surface of the lot. No brick build-up or additional fill will be permitted for dwelling construction.
- b) For remaining lots, the finished ground floor levels must be within 0.5m of the finished design surface of the lot. No brick build-up or additional fill will be permitted for dwelling construction.

8. RETAINING WALLS

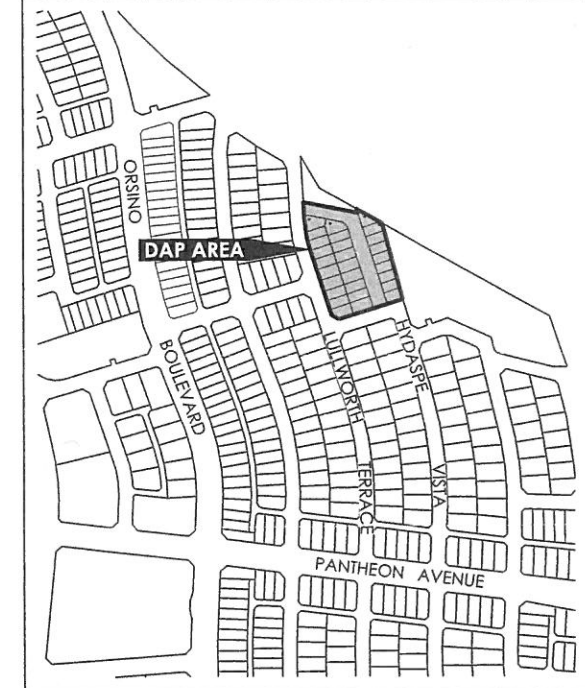
- a) Construction including load bearing walls on a nil setback must comply with engineering requirements associated with any retaining walls present.

9. NOISE ATTENUATION

- a) Lots adjacent to the existing railway line (as indicated on the DAP) may be affected by vehicle noise and, as such, these dwellings will need to be designed to comply with Quiet House Design Guidelines. Details of Quiet House Design Guidelines are outlined within the Port Coogee Design Guidelines. All construction for these lots must be in accordance with these guidelines.
- b) All dwellings subject to the Quiet House Guidelines must submit an Acoustic Report by a qualified acoustic engineer substantiating that the design and construction of the dwelling adequately attenuates noise emissions from the existing railway line.



LOCATION PLAN



LEGEND

- Building Envelope (All Levels)
- Designated Garage Location
- Nil Building Setback
- Retaining Walls
- Lots subject of 'Quiet House' Design Guidelines

ENDORSEMENT TABLE

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner:

f/ Principal Planner *Subtle*
 Date 25 June 2015
 DAP Reference 15/23
 OCM Date -

Revised Detailed Area Plan - Lot 484, Standard Lots (R80)

LOTS 817-844 LULLWORTH TERRACE, PORT COOGEE

AN AUSTRALAND PROJECT

Taylor Burrell Barnett

plan: 90/057/264G
 date: 15/06/2015
 project: PCG 94

designed: KS/MB
 checked: SD
 drawn: NM

scale: 1:750(A3) | 1:375(A1)

0 5 10 15m

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