

Detailed Area Plan R-Code Variation

The City of Cooburns relevant Planning Policies, District Town Planning Scheme and the R-Codes are read in the following manner:

R-CODING

Density Coding is R80.

SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

The requirement to consent with adjoining or other land owners to achieve a variation to the R-Codes is not required where the design complies with the following standards.

DESIGN ELEMENTS

- All dwellings (including patios, pergolas, shade covers and garages) must be located within the building envelopes decided on the DAP.
- Lots on this DAP are exempt from provision 6.9.1 of the R-Codes which do it with overstacking of adjoining sites.
- Dwellings must address the Primary Street by way of design, fenestration and entry, and must contain major openings to a living area and/or bedroom on the Primary Street elevation.
- For lots with multiple street frontages, the dwelling must address both the Primary and Secondary Streets (see Laneway where applicable) through design, fenestration, materials, major openings.
- At least one balcony greater than 10 m² is to be provided to the Primary Street elevation of each dwelling. Balconies provided to the secondary street on corner lots are encouraged.
- Balconies with an area of 10 m² or greater shall be credited toward the minimum open space requirement equal to the area of first balcony.
- Any exposed parapet wall on a common boundary shall be suitably finished to match the external walls of the dwelling, unless otherwise agreed with the adjoining property owner.
- All dwellings adjoining POS shall be suitably designed and orientated to ensure passive surveillance. Dwellings shall have one or more major openings to a habitable room (being a living room and/or a bedroom) and an outdoor living area or balcony (backyard) that is at least 10m² in area.
- No blank walls are permitted on boundaries of corner lots or on a boundary boundary above the ground level. Walls that interface with streets shall be articulated and meet all design criteria identified on the DAP.
- The minimum open space requirement is 35%.

DWELLING SETBACKS

- Setbacks for development shall be in accordance with the following:
 - (except where noted, all other setbacks shall be in accordance with the R-Codes).
 - Setback to the dwelling from the primary street is a minimum of 2.5m (subject to engineering requirements of retaining wall being met, see retaining wall Advice Note below).
 - Setback to the dwelling from the POS boundary is a minimum of 2.5m (namely Lots 801-807).
 - A side setback of 1m minimum, and 1.5m minimum to major openings, is required to Orsino Boulevard for Lot 801.
 - A setback to the dwelling (at level) from the secondary street is a minimum of 1m.
 - A 0.5m minimum setback is required to the dwelling from the Laneway.
 - All side setbacks to be provided to the Laneway for Lots 813 and 815, subject to the Design Elements requirements of this DAP and engineering requirements associated with retaining walls.
 - The rear setback for Lots 814, 815 and 816 is in accordance with the R-Codes to a minimum of 1.5m. This setback will provide increased amenity and solar penetration opportunities for Lot 813.
 - Setback to a balcony (complying with the specified Design Elements criteria) from the primary street is a minimum of 1.0m.
 - Retaining upper levels are to be setback 3.0m from the southern lot boundary beyond 10m of the dwelling front levels as per the DAP.
 - All setbacks are permitted on both side boundaries (where indicated on the DAP) for a maximum length determined by the required front setback. Refer to 'Typical Setback Requirement' illustration for determining all setback areas permitted to the upper and lower levels of the dwelling.

DWELLING HEIGHT

- A maximum building height of 13.5m above the finished ground floor level is permitted.

GARAGES AND VEHICULAR ACCESS

- Laneway use must obtain vehicle access from the Laneway.
- 0.5m minimum garage setback is required from the Laneway.
- Garages may overhang the garage setback requirements and extend out to the laneway boundary.
- Carports are not permitted.

FENCING

- Where fencing is provided by the developer, no modifications are to be effected apart from maintenance and repair in materials that are substantially identical with those used in the original construction. This includes Lots 801-812 facing to the POS and those lots with rear access.
- Any fencing proposed to lot boundaries shall be in accordance with specifications detailed in the Port Coogee Design Guidelines - Appendix C.

ADVICE NOTE

- Finished ground floor levels must be within 0.5m of the finished design surface of the lot. No brick build-up or additional fill will be permitted for dwelling construction.

RETAINING WALLS

- Construction including load bearing walls on a lot setback must comply with engineering requirements associated with any retaining walls present.
- Dwellings are generally to be setback 1.0m from retaining walls for single storey dwellings and 1.5m to double storey dwellings. Certification for load bearing walls must be obtained from an independent practicing Structural Engineer in relation to final dwelling proximity to retaining wall.

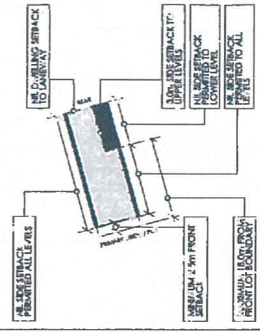
Detailed Area Plan - Lot 785
 LOT 785 ORSINO BOULEVARD, PORT COOGEE
 AN AUSTRALAND PROJECT



Legend

- Building Envelope (Three and Above)
- Building Envelope (Second Level)
- Building Envelope (Lower Level)
- 3.0m Minimum Setback for Upper Level
- Nil Building Setback
- Retaining walls
- Landscape Design Elements Encouraged
- Indicative Stair Access Locations
- Vehicle Access Restricted

Typical Setback Requirements



Endorsement Table

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner:

Principal Planner: _____

Date: 22.10.2018

