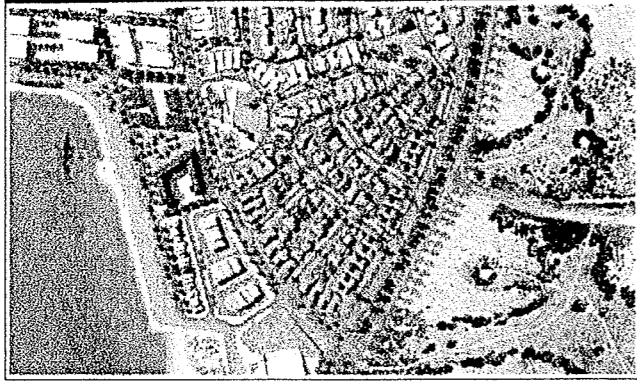


Location Plan



Legend

- EXTENT OF STAGE 1
- Building Envelope (Upper Level)
- Building Envelope (Lower Level)
- ⊗ Designated Garage Location
- ⊗ Mandatory upper level over garage
- Preferred Garage Location
- 3.0m Minimum Setback for Upper Level
- * Lots subject of 'Quiet House' Design Guidelines
- Retaining walls
- ⊗ Stair Access Locations
- 14.45 Design Surface Lot Level

Detailed Area Plan R-Code Variation

General Design Intent

The following details apply to the design and construction of those lots subject of this Detailed Area Plan. The design intent is outlined by the Port Coogee Design Guidelines. All developments must give regard to the requirements and intent of these guidelines.

The District Town Planning Scheme and R-Codes are varied in the following manner:

R-Coding

Density Coding is R20

Scheme and Residential Design Code Variations

The requirements to consult with adjoining or other land owners to achieve a variation to the R Codes is not required.

Design Elements

- All dwellings (including patios and gazebos) must be located within the building envelopes depicted on the DAP.
- Dwellings must address the Primary Street (or Public Open Space) by way of design, fenestration, entry and must contain major opening(s) to a living area and/or master bedroom.
- For lots with multiple street frontage, the dwelling must address both the Primary Street and the Secondary Street or Laneway through design, fenestration, materials and major opening(s).
- Development shall be designed so that its shadow cast at midday 21 June onto any adjoining property does not exceed 35% of the adjoining property's site area.
- At least one balcony greater than 10m² is to be provided to the Primary Street elevation of each dwelling.
- Regarding the provision of a balcony (complying with the specified Design Elements criteria) a variation to the minimum open space requirements shall be permitted equal to the area of the balcony provided.

Dwelling Setbacks

- Primary street setback is permitted at a minimum of 3m with a 4m average, no maximum setback is prescribed to encourage street frontage variations and articulation.
- A balcony (complying with the specified Design Elements criteria) is permitted to project a maximum of 1m into the primary street minimum setback and is excluded from the average setback calculation.
- Upper levels to be setback 3.0m from the southern boundary beyond 15m of the front boundary. Where lot depths do not exceed 30m, this setback shall apply to a minimum 50% of the boundaries length.
- The minimum dwelling setback to a laneway boundary shall be 0.5m.
- A nil setback will be permitted for walls on the southern lot side boundary (where indicated on the DAP) for a maximum length determined by the required front and rear setbacks.
- A nil setback will be permitted for walls on the northern lot side boundary (where indicated on the DAP) for a length of 15m from the front boundary less the nominated front setback. Where lot depths do not exceed 30m, this nil setback shall apply to a minimum 50% of the boundaries length.
- For Standard lots, only one side boundary will be permitted with a nil setback, this may be nominated from the options displayed on the DAP. No combination of nil setbacks will be permitted.
- For Laneway lots, only one side boundary will be permitted with a nil setback for a length of 15m from the front boundary less the nominated front setback, beyond this distance from the front boundary, a nil setback will be permitted concurrently on both boundaries.
- Construction on a nil setback must comply with engineering requirements associated with any retaining walls present.

Dwelling Height

- A maximum building height of 2 storeys (+Roof) with top of roof pitch at 10m is permitted. Ground level is the first storey.

Garages

- Where vehicular access can be obtained via an alternative access to the Primary Street, garages must be accessed in the following order - Laneway (1st) Secondary Street (2nd) and Primary Street (last).
- Designated garage locations (where indicated on the DAP) are mandatory.
- Laneway Lots must obtain access from the Laneway. A 0.5m garage setback to the laneway boundary is required.
- Where access is obtained from the Primary Street or Secondary Street, the garage is to be setback 0.5m behind the main building line (average front setback).
- Garages may be located with a nil side setback where it can be demonstrated to have no impact on amenity of the adjoining owner.
- Development above garages may overhang the garage setback requirements and extend out to the dwelling building line.
- No carports are permitted.

Fencing

- Any fencing proposed to lot boundaries shall be in accordance with specifications detailed in Port Coogee Guidelines.

Finished Lot Levels

- Finished design surface lot level is not to be altered, no brick buildup will be permitted for dwelling construction.
- Finished floor levels to garages noted in the table shall not be altered.

Retaining Walls

- Ground levels may not be altered in the vicinity of the retaining walls following their completion without the approval of an independent practising Structural Engineer. Fences and additional walls may not be added to the top of the retaining walls without certification of an independent practising Structural Engineer.
- Dwellings are generally to be setback 1.0m to single storey dwellings and 1.5m to double storey dwellings. Certification must be obtained from an independent practising Structural Engineer in relation to final dwelling proximity to retaining wall.

Air conditioning or cooling unit / solar hot water units

- Air conditioning or cooling units must be of a similar colour to the roof and not protrude above ridge lines and gables. Solar hot water units must be integrated with and match the roof profile and pitch of the residence. Air conditioning or cooling units are not to be located in positions that are visible from a public road or park and are to be positioned to minimise noise impacts on neighbouring residences.

Noise Attenuation - Quiet House Design

- Lots adjacent to Cockburn Road (as indicated) may be affected by vehicle noise and as such these dwellings will need to be designed to comply with quiet house design guidelines. Details of quiet house design elements are outlined within the Port Coogee Design Guidelines, all construction for these lots must be in accordance with these guidelines.
- All dwellings subject to the Quiet House Guidelines must submit an Acoustic Report by a qualified Acoustic Engineer substantiating that the design and construction of the dwelling adequately attenuates noise emissions from Cockburn Road and the existing railway line.

GARAGE FLOOR FINISHED LEVELS TABLE

LOT	LEVEL
669	14.60
670	12.78
671	14.44
672	15.29
673	16.57
674	15.29
690	9.51
692	9.01
693	9.31
693	9.42
694	10.60
695	11.25
696	10.60
737	8.79
738	8.55
739	7.68
740	7.68
743	7.59
744	7.42
745	7.59
746	7.69
747	8.45
748	8.63

POTENTIAL NIL SETBACK FOR PREFERRED SOUTHERN SIDE BOUNDARY IN LIEU OF NORTHERN SIDE BOUNDARY NIL SETBACK

POTENTIAL NIL SETBACK FOR INDICATED NORTHERN SIDE BOUNDARY IN LIEU OF PREFERRED SOUTHERN SIDE BOUNDARY NIL SETBACK

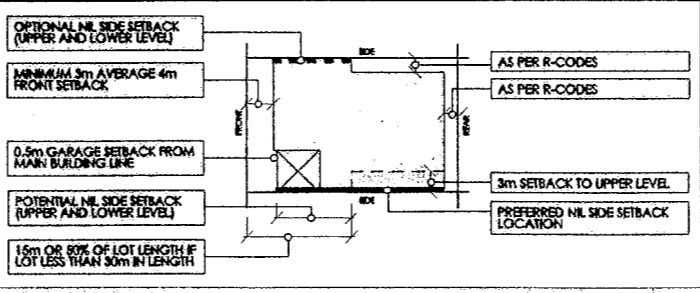
MINIMUM 3m / AVERAGE 4m SETBACK TO PRIMARY STREET.

REAR SETBACKS AS PER R-CODES.

MINIMUM 1.5m SETBACK TO SECONDARY STREET.

MINIMUM 3m SETBACK TO FIRST FLOOR ON SOUTHERN BOUNDARY BEYOND 15m OF BOUNDARY.

Typical Setback Requirements



This detailed Area Plan has been adopted by council and signed by the Principal Planner:

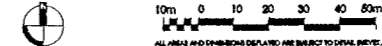
Principal Planner

Date 14/12/2006

Detailed Area Plan - Stage 1
PORT COOGEE

CLIENT	AUSTRALAND	DATE	15/11/2006
PLAN NUMBER	940357/079	SCALE	1:2000 @ A3
DESIGNED BY	M.B.	CHECKED BY	M.B.
		DRAWN BY	Y.H.

TAYLOR BURRELL BARNETT
Town Planning and Design
187 Roberts Road Subiaco
Western Australia 6008
Telephone: (08) 9382 2911
Facsimile: (08) 9382 4594
ed@tbbplanning.com.au



© COPYRIGHT TAYLOR BURRELL BARNETT. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT PERMISSION IN WRITING FROM TAYLOR BURRELL BARNETT.